

NOTICE TO THE AUDIENCE: Please remember that if you are interested in matters on the agenda that will have subsequent meetings, it is your responsibility to note their dates, times, and places. No further letters or reminders will be sent. Of course, if you have any questions about any given matter, do not hesitate to contact the Planning Department in the City Hall Annex, 4403 Devils Glen Road, Bettendorf, Iowa 52722 or phone (563) 344-4100.

The Planning and Zoning Commission meeting will be open to the public. The City of Bettendorf will broadcast this public meeting online at <http://www.bettendorf.org/live-meeting>.

**PLANNING AND ZONING COMMISSION
CITY OF BETTENDORF
MAY 17, 2023 AT 5:30 PM
CITY HALL COUNCIL CHAMBERS
1609 STATE STREET**

1. Roll Call: Gannaway _____, Gibson _____, Kappeler _____, Ormsby _____, Satterfield _____, Stoltenberg _____, Wennlund _____
2. Approval of minutes of the meeting of April 19, 2023.
3. Review of Commission procedures.
4. Case 22-097 – Site Development Plan Modification (DCA District); 3150 Glenbrook Circle South, submitted by Nelson Construction and Development. (Staff: Hunt) (Deferred from meeting of April 19, 2023)
5. Case 23-038 – Final Plat; Wilderness Pointe Second Addition, submitted by Wilderness Pointe, LLC. (Staff: Beswick)
6. Case 23-031 – Site Development Plan; Lot 7, Bettplex First Addition, submitted by Build to Suit, Inc./Paul Bofelli. (Staff: Beswick)
7. Case 23-028 – Final Plat; Hopewell Farm Second Addition, submitted by CT Creek. (Staff: Beck)
8. Case 23-029 – Site Development Plan; 5019 Hopewell Avenue, submitted by First Assembly of God/Hope Church. (Staff: Beck)

9. Case 23-036 – Site Development Plan; Lot 1, Creek Ridge Estates Third Addition, submitted by Silverthorne Homes. (Staff: Beck)
10. Case 23-030 Site Development Plan; 3230 Ridge Pointe, submitted by Downing Construction Inc. (Staff: Beck)
11. Case 23-012 – Site Development Plan; 2570 Middle Road, submitted by Switch Homes of Dubuque. (Staff: Beck) (Deferred to meeting of June 21, 2023)

Other

12. Commission Update.



The materials for the Planning and Zoning Commission meeting can be accessed by scanning the QR code.

IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT AND OTHER APPLICABLE FEDERAL AND STATE LAWS, ALL PUBLIC HEARINGS AND MEETINGS HELD OR SPONSORED BY THE CITY OF BETTENDORF, IOWA, WILL BE ACCESSIBLE TO INDIVIDUALS WITH DISABILITIES. PERSONS REQUIRING AUXILIARY AIDS AND SERVICES SHOULD CONTACT BETTENDORF CITY HALL AT (563) 344-4000 FIVE (5) DAYS PRIOR TO THE HEARING OR MEETING TO INFORM OF THEIR ANTICIPATED ATTENDANCE. TEXT TELEPHONE (TTY) IS AVAILABLE AT (563) 344-4175. IN ADDITION, PERSONS USING TEXT TELEPHONE HAVE THE OPTION OF CALLING VIA THE IOWA COMPASS VOICE/TTY BY DIALING (800) 735-2942.

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MINUTES
PLANNING AND ZONING COMMISSION
APRIL 19, 2023
5:30 P.M.

The Planning and Zoning Commission meeting of April 19, 2023, was called to order by Wennlund at 5:30 p.m. in the City Hall Council Chambers, 1609 State Street.

1. Roll Call

MEMBERS PRESENT: Gannaway, Gibson, Kappeler, Ormsby, Satterfield, Stoltenberg, Wennlund

MEMBERS ABSENT: None

STAFF PRESENT: Greg Beck, City Planner; Taylor Beswick, City Planner; Mark Hunt, Community Development Director; Brent Morlok, City Engineer; Chris Curran, City Attorney; Troy Said, Assistant Fire Chief; Jeff Reiter, Assistant City Administrator; Lisa Fuhrman, Secretary; Jeremy Petersen, Chief Building Official

2. Approval of the minutes of the meeting of March 15, 2023.

On motion by Kappeler, seconded by Gannaway, that the minutes of the meeting of March 15, 2023 be approved as submitted.

ALL AYES

Motion carried.

3. Review of Commission procedures.

4. Case 22-097 – Site Development Plan (DCA District); 3150 Glenbrook Circle South, submitted by Nelson Construction and Development. (Staff: Hunt) (Deferred to meeting of May 17, 2023)

5. Case 23-012 – Site Development Plan; 2570 Middle Road, submitted by Switch Homes of Dubuque. (Staff: Beck) (Deferred to meeting of May 17, 2023)

6. Case 23-026 – Final Plat; Encore Central Avenue Subdivision, submitted by Encore Homes, LLC/James Rasche. (Staff: Beswick)

Beswick reviewed the staff report.

On motion by Kappeler, second by Stoltenberg, that the final plat of Encore Central Avenue Subdivision be recommended for approval subject to staff recommendations.

ALL AYES

Motion carried.

7. Case 23-020 – Site Development Plan; 4060 Middle Road, submitted by Ridge Investment Group, LLC. (Staff: Beck)

Beck reviewed the staff report.

Kappeler asked if some of the required landscaping could be relocated along Woodfield Drive to provide a buffer for the multi-family housing to the north. Beck stated that he had contacted the applicant regarding the possibility of planting some type of hedge that would grow 6-8 feet tall to be used as a buffer that would not interfere with overhead power lines. He added that even though a hedge would not count toward the required number of trees, the overall tree count will be met by using the deciduous overstory trees shown. Kappeler commented that a letter was received from Karen Hileman (4032 Woodfield Drive) suggesting such a buffer. Beck stated that the possibility of additional landscaping could be worked out before the City Council meeting. Wennlund stated that Hileman had also requested that a berm with evergreens be installed, adding that he does not believe that changing the grade of a utility easement is allowed.

Stoltenberg asked why the Woodfield Drive access point is not lined up with Crowne Pointe Circle. Morlok explained that the offset prevents left-turn conflicts.

Chris Wynn, representative of the developer, explained that while the original site plan showed plantings along Woodfield Drive to serve as a buffer, they were removed after he discovered that the transmission line easement restricts any type of plantings or fencing underneath the power lines. He added that if the developer is required to plant a continuous row of shrubs, the city should give credit toward the required tree count for them. He commented that the intent is for the Middle Road shared access to serve as the main entrance to the store and that the Woodfield Drive access will mostly be used for deliveries to the rear of the store. Wynn stated that there is a regional storm water basin for the development and that a water quality feature has been added at the city's request.

Thomas Carter, 4036 Woodfield Drive, commented that he does not believe that a Dollar Tree store is good for the community because it will extract wealth, lower property values and tax revenue, and there are enough chain dollar stores in the area.

Chris Thielbert, 3504 Crowne Pointe Circle, expressed concern about increased traffic which will likely cut through the access to Bettendorf Christian Church and the safety of the children participating in activities at the church.

Terry Kishuie, 3400 Crowne Pointe Circle, commented that she does not believe that the city should be cheapening her neighborhood by allowing a low value dollar store across the street.

Karen Hileman, 4032 Woodfield Drive, commented that the pylon sign noted on the site plan is proposed to be located near Woodfield Drive which she believes will direct motorists to use the secondary entrance. She asked if there any plans for a traffic signal at that location and requested that the sign be moved closer to the Middle Road entrance. Morlok stated that if the applicant were amenable, the location of the sign could be moved. He explained that it is unlikely that the traffic count on Woodfield Drive would ever warrant a traffic signal unless there are safety issues in the future.

On motion by Stoltenberg, second by Kappeler, that a site development plan for 4060 Middle Road be recommended for approval subject to staff recommendations.

A discussion was held regarding the safety issues that were mentioned, the proposed location of the sign, and the required landscaping.

ROLL CALL ON MOTION

ALL AYES

Motion carried.

8. Case 23-018 – Rezoning; 5019 Hopewell Avenue, A-1 Agricultural/Urban Reserve District to R-3 Mixed Residential District, submitted by CT Creek. (Staff: Beck) (Postponed at the March 15, 2023 meeting)

Beck reviewed the staff report. Hunt added that as a result of comments received at the neighborhood meeting, the developer reduced the number of townhouse units by 6 and increased the width of the buffer between the single-family homes and the proposed development. He commented that the site is constrained by the 50-foot stream bank requirement required by the city.

Kappeler asked what type of plantings will be installed in the landscape buffer. Beck stated that the city's preference is for evergreens. Kappeler asked for clarification of the width of the setback between the existing subdivisions and the proposed development. Beck explained that the required setback is 25 feet but that it has been increased to 30 feet.

Gannaway asked for clarification of how Butterfield Court will be extended. Morlok explained that the intent was always for the street to be extended which is evidenced by the fact that there is an easement in place. He added that the city would never have imposed a requirement for a cul-de-sac on an adjoining property,

Wennlund opened the public hearing and asked if there is an affidavit of publication. Fuhrman confirmed this.

Glenn Dugan, 5736 Butterfield Court, expressed concern about the possible reduction in property values in his neighborhood and the drastic mismatch between the two types of neighborhoods. He added that he believes the city's justifications for recommending approval

of the rezoning request are baseless. He suggested that another developer be found who will build single-family homes on the property.

John Huffman, 5575 Berkshire Street, stated that he had sent an e-mail to city staff regarding his concerns but had not received a reply and expressed concern about the storm water runoff from nearby subdivisions that negatively impacts his property. He stated that a detention basin must be located on the property in question, not further downstream. He requested that the Commission not move forward until there is a storm water management plan in place based on current conditions. He added that he believes that residents should be afforded the ability to attend meetings virtually.

Neal Griffith, 5350 Griffin Lane, stated that there are enough high-density residential areas in the city, adding that the proposed development is too dense for the neighborhood.

Craig Ruesch, representing Hope Church, explained that while he would have considered a single-family subdivision for the property in question, he had been approached by a developer who proposed the multi-family residential development. He commented that his engineer has been working with city staff regarding the storm water issue, adding that the proposed development is compliant with the city's comprehensive plan.

Tim Cernin, 5213 Hopewell Court, stated that he believes that the opportunity to address the Commission at meetings should be equal for all people who can't attend the meeting in person. He asked if the Commissioners had read e-mails submitted by the Wendy and Tony Clifton and Jim Walsh. Wennlund confirmed this. Cernin indicated that he does not believe that a 30-foot buffer is wide enough and that a berm should be required. He expressed concern about safety issues related to additional school bus traffic, the proposed on-street parking, the disparity in average assessed value and size of the proposed units compared to his neighborhood, storm runoff generated by this and future developments, and reduction in his property values. He commented that there are better locations for affordable housing and that he and his neighbors are not opposed to the church's being built near them. He requested that the property be rezoned to R-1 instead.

Curran stated that the Commission wants to hear from all concerned parties regarding the cases before them, adding that some of the rules related to open meetings and remote access were changed under Covid. He explained that while the city is not yet able to open remote access to everyone, the e-mail from Wendy Clifton would be read directly into the record at her request. He stated that all written correspondence is made a part of the record.

Jeff Haynes, 2815 Edgewood Drive, stated that he is a member of the church and that they have the best intentions for the development of the property. He added that the developer has made some concessions in an attempt to alleviate some of the neighborhood's concerns.

Heidi Huiskamp-Collins, 5620 Butterfield Court, expressed concern about the possibility that the assessed value of her home will go down because of the neighbors who are going to move into the R-3 area.

Ruesch explained that while he had indicated that he would have been willing to accept an offer from a developer who would zone the property R-1, that offer never happened. He stated that the church is under contract with CT Creek for an R-3 development.

Rob Davis, CT Creek, stated that the concerns expressed by the residents at the neighborhood meeting resulted in the developer's reducing the number of units by 6 which is a significant number. He commented that the proposed number of units is only one third of what would be allowed.

Brian Boelk, Axiom Consultants, explained that the current request is for a rezoning only, not a site development plan. He added that some of the issues that have been brought up will be addressed at the site plan stage. He stated that the proposed R-3 district is compliant with the comprehensive plan, reiterating that the addition of a landscaped buffer on the east and south side of the subdivision is beyond what is required. Boelk stated that it is common to have a transition from single-family to townhomes, adding that the exact situation is located directly to the south in The Meadows subdivision.

Wennlund read an e-mail from Wendy Clifton, 5323 Hopewell Court, who had requested that it be read into the record.

Wennlund closed the public hearing.

Curran reviewed the legislative process with regard to rezoning requests as they relate to the Commission and City Council and the guidance in the City Code. Kappeler explained that the Commission does not have the authority to change the proposed zoning district to R-1 as was suggested by several residents. She added that the Commission can only evaluate the request as submitted by the developer.

Morlok explained that all of the area generally bounded by Middle Road on the west, Willmeyer Drive on the east, and Hopewell Avenue and 53rd Avenue on the north and south are served by a single regional storm water detention basin located on the north side of 53rd Avenue. He stated that none of the people who live in that area have a storm water detention basin in their own subdivision. He stated that the argument that the current developer must include a detention basin is not applicable. Morlok explained that the entire basin was engineered with established runoff rates to serve the entire area. He added that Ginger Creek and the north leg of Pigeon Creek are federally regulated, adding that small, individual basins are not allowed. He stated that water quality volume will be required for each lot in the proposed subdivision which will filter the water before it reaches the creek. He indicated that review of the water quality and preliminary engineering calculations will occur during the site development plan review phase.

Hunt reviewed an e-mail from Huffman he received on April 6 regarding a meeting held on April 5 at which Huffman expressed concerns about storm water. He apologized if he had missed any other e-mails from Huffman or any other concerned parties.

Ormsby asked how the proposed development would be an investment in the existing neighborhood as stated in the staff report, adding that she had checked with several realtors

who had indicated that property values would be reduced by building homes of a lower cost than those that are existing. She asked for clarification of the location of Section 11-15-13(b) in the code. Beck explained that the section is the 8-step rezoning test which references conformance to the future land use map and consistency with the goals of the Comprehensive Plan. He added that both the ULI and UMI future land use designations permit the proposed R-3 zoning district. Beck stated that Goal E relates to providing housing options and reinvesting in existing neighborhoods, adding that the proposed development will have a different type of housing than the surrounding single-family homes. He stated that the Comprehensive Plan refers to uses becoming more intense as they move toward more heavily-traveled streets such as Middle Road, which is an arterial. He stated that the intent is to provide a buffer with a housing type that is more intense than the existing single-family to the east.

Ormsby commented that the Commission must decide whether the proposed development will negatively impact nearby parcels. Wennlund stated that the most recent assessments for the two single-family homes on Kristi Lane that directly abut the multi-family development to the south have increased by 15-25 percent. He commented that the data does not appear to show that there was a negative impact caused by The Meadows development.

Stoltenberg stated that the plan all along has been to transition to more intense uses along the Middle Road corridor. He added that the proposed residential development will provide a buffer and that he does not believe that it will reduce the property values of the homes in the adjacent neighborhood.

Gibson commented that she will vote in favor of the request after considering the information the Commission was given, the fact that home values do keep going up in Bettendorf, and because the plan has always been to have a transition.

Kappeler stated that while revisions have been made over time to the Comprehensive Plan, the review committees she served on have always wanted to have a step down effect where there are very intensive uses planned along arterial roads with some type of buffer as you move away from those busy streets. She commented that the proposed development is a good example of that planning principle, adding that the neighbors in many of the places where residents pointed out as examples of good development were opposed to those projects.

On motion by Stoltenberg, second by Gannaway, that the request to rezone 5019 Hopewell Avenue from A-1 to R-3 be recommended for approval subject to staff recommendations.

ALL AYES

Motion carried.

9. Case 23-013 – Future Land Use Amendment; SW corner of Devils Glen Road and Forest Grove Drive, Open Space and Parks to UMI Urban Medium Intensity, submitted by E & A Enterprises, LLC. (Staff: Beswick)

10. Case 23-021 – Future Land Use Amendment; SW corner of Devils Glen Road and Forest Grove Drive, Open Space and Parks to ULI Urban Light Intensity, submitted by E & A Enterprises, LLC. (Staff: Beswick)

Beswick reviewed the staff report.

11. Case 23-014 – Rezoning; SW corner of Devils Glen Road and Forest Grove Drive, C-1 Neighborhood Commercial District to C-2 Community Commercial District (commercial uses), submitted by E & A Enterprises, LLC. (Staff Beswick)
12. Case 23-017 – Rezoning; SW corner of Devils Glen Road and Forest Grove Drive, C-1 Neighborhood Commercial District to R-1 Single-Family Residence District, submitted by E & A Enterprises, LLC. (Staff: Beswick)
13. Case 23-022 – Rezoning; SW corner of Devils Glen Road and Forest Grove Drive, C-1 Neighborhood Commercial District to C-2 Community Commercial District (townhomes), submitted by E & A Enterprises, LLC. (Staff: Beswick)
14. Case 23-023 – Rezoning; SW corner of Devils Glen Road and Forest Grove Drive, C-1 Neighborhood Commercial District to R-3 Mixed Residential District, submitted by E & A Enterprises, LLC. (Staff: Beswick)
15. Case 23-024 – Rezoning; SW corner of Devils Glen Road and Forest Grove Drive, R-1 Single-Family Residence District C-1 Neighborhood Commercial District, submitted by E & A Enterprises, LLC. (Staff: Beswick)

Beswick reviewed the staff report, adding that the developer has indicated that at the platting stage he is willing to place a restrictive covenant on the property that is currently zoned C-1 and which will remain so that prohibits gas sales.

Curran reviewed the procedures related to the multiple public hearings that will take place. He stated that any and all comments made by those in the audience will be applicable to all of the involved cases and will be made a part of each record.

Gibson asked if the restriction on gas sales runs with the land or if it would not be enforceable if the plan were revised for some reason. Curran explained that the condition is part of the ordinance rezoning the property and would run with the land. Hunt added that if the rezoning of the property is not approved and the project does not move forward, any use that is allowed in the C-1 district could be contemplated including gas stations. He reiterated that the restrictions on gas sales and the other uses listed in the agreement are only enforceable if the rezoning is approved.

Wennlund opened the public hearing for Case 23-013 and asked if there is an affidavit of publication. Fuhrman confirmed this.

Greg Jager, attorney representing the applicant, stated that Forest Grove Drive/Veteran's Parkway is one of three streets that connect one end of Bettendorf to the other end of Davenport, adding that the intersection with Devils Glen Road is one of the busiest in the city. He explained that because of

the voluminous traffic, it is appropriate to have commercial uses that serve a wider geographical clientele on the corner. Jager stated that while no specific users have been identified for the commercial areas, concept plans have been drawn. He indicated that the developer has not offered to condition the rezoning request based on a concept plan because he will need some flexibility in how the site is marketed and developed. He explained that because the concept plan is not final, the developer has chosen to focus on the proposed uses for the site. He reiterated that the developer would provide a document restricting all of the C-1 area from use for a gas station. He reviewed the list of uses that the developer has agreed to prohibit in the corner area that is proposed to be rezoned to C-2, adding that the proposed C-2 area to the south will be restricted to townhome development only. Jager commented that because single-family homes will be built to the west by the same developer, it is to his benefit to develop the area with uses that will fit into the area nicely.

Samir Kulkarni, design director for Bush Construction, stated that his goal is to promote quality design for the development while keeping in mind the high level of interest from all sides. He added that the proposed renderings show a cohesive and contemporary design that is contextually appropriate and ties well into the nearby neighborhoods. He showed slides of the conceptual layout of the proposed development, renderings showing the proposed style of the commercial buildings and residential townhomes, and the streetscape along both sides of Devils Glen Road.

Michael Meloy, attorney representing Dr. Allen Diercks (6549 Blackberry Lane) and other residents who live on Blackberry Lane, stated that he believes that this is the wrong location for the proposed development which is primarily commercial. He commented that there is no existing commercial use in the immediate area or any commercial development south of Forest Grove Drive between the east side of Middle Road and the west side of Utica Ridge Road. He stated that there is almost unanimous opposition to the proposed commercial designation from the property owners in attendance as it is too intense. Meloy suggested that no action with regard to the rezoning requests should be taken until such time as the future land use map is updated. He stated that he believes Parks and Open Space is a logical land use designation because of the baseball fields that used to be located on the site. He expressed concern about a reduction in property values of the residential homes in the neighborhood, congestion, traffic problems, and the negative impact the development will have, adding that the rezoning requests are not in the best interest of the city as a whole.

Kristi Fuller, 6559 Eagle Ridge Road, expressed concern that the development will wreck the recreational path and will increase the vehicular traffic in the area.

Ken Golden, 3895 Lakeview Court, expressed concern about increased traffic, safety of pedestrians and cyclists, children walking to and from school, and the overall density of the project. He commented that many of the residents purchased their homes based partially on the area's zoning of C-1 and designation on the future land use map as Parks and Open Space which is now considered to be an error.

Janet Morales, 3360 Crow Lake Drive, expressed opposition to the request as it would negatively impact the ability of residents to safely cross the street when they must navigate around the traffic entering and existing the proposed businesses. She added that she is concerned that the increased volume of traffic caused by the Forest Grove Drive reconstruction will encourage motorists using the neighborhood as a pass through to become the norm.

Terry Donart, 6560 Blackbird Lane, concurred with the concerns expressed regarding increased traffic and the associated safety concerns.

Jared Stein, 3400 Crow Lake Drive, expressed opposition to the developer's requests because he does not believe that it is appropriate to locate such a large development in a small space in the middle of an existing and future residential area. He expressed concerns about the lighting, hours of operation, the water runoff that will come from the development, and the maintenance of the proposed detention basin. He requested that the Commission consider all of the standards listed in the zoning ordinance prior to making their recommendation. He expressed concern about the number of intersections that will be added as a result of the proposed development and the future residential subdivision to the west.

Allen Diercks, 6549 Blackberry Lane, suggested that the development be located on the north side of Forest Grove Drive or further west on Forest Grove Drive at the intersection with Utica Ridge Road.

Kimberly Kim, 6552 Blackbird Lane, stated that she believes that a C-2 district is inappropriate for the residential area as it is too close to the elementary school. She added that Pleasant Valley Community School District does not provide busing for the children in the area and that the increased traffic will create serious safety concerns. She expressed frustration that the street alignment has not yet been confirmed as new streets will change the flow of traffic.

Denis Bland, 6311 Cattail Lane, stated that traffic in the area is already heavy and questioned why a commercial development has to be located there when there are other locations with available commercial space. He expressed concern about the lighting and additional traffic that will be generated by the development that is incongruous with the residential neighborhood.

Sarah Maifield, 6515 Blackbird Lane, expressed concern about increased traffic and the safety issues associated with. She stated that she believes that there will be a large amount of garbage generated by the development.

Wennlund closed the public hearing for Case 23-013.

On motion by Kappeler, second by Ormsby, that Commission action for Case 23-013 be tabled.

ALL AYES

Motion carried.

Wennlund opened the public hearing for Case 23-021 and asked if there is an affidavit of publication. Fuhrman confirmed this.

Wennlund closed the public hearing for Case 23-021.

On motion by Satterfield, second by Gannaway, that Commission action for Case 23-021 be tabled.

ALL AYES

Motion carried.

Wennlund opened the public hearing for Case 23-014 and asked if there is an affidavit of publication. Fuhrman confirmed this.

Wennlund closed the public hearing for Case 23-014.

On motion by Gannaway, second by Kappeler, that Commission action for Case 23-014 be tabled.

ALL AYES

Motion carried.

Wennlund opened the public hearing for Case 23-017 and asked if there is an affidavit of publication. Fuhrman confirmed this.

Wennlund closed the public hearing for Case 23-017.

On motion by Gannaway, second by Satterfield, that Commission action for Case 23-017 be tabled.

ALL AYES

Motion carried.

Wennlund opened the public hearing for Case 23-022 and asked if there is an affidavit of publication. Fuhrman confirmed this.

Wennlund closed the public hearing for Case 23-022.

On motion by Gannaway, second by Satterfield, that Commission action for Case 23-022 be tabled.

ALL AYES

Motion carried.

Wennlund opened the public hearing for Case 23-023 and asked if there is an affidavit of publication. Fuhrman confirmed this.

Wennlund closed the public hearing for Case 23-023.

On motion by Gannaway, second by Satterfield, that Commission action for Case 23-023 be tabled.

ALL AYES

Motion carried.

Wennlund opened the public hearing for Case 23-024 and asked if there is an affidavit of publication. Fuhrman confirmed this.

Wennlund closed the public hearing for Case 23-024.

On motion by Gannaway, second by Satterfield, that Commission action for Cases 23-013, 23-014, 23-017, 23-021, 23-022, and 23-023 be removed from the table.

ALL AYES

Motion carried.

Gannaway asked for staff comment regarding the concerns regarding traffic safety that were expressed by the residents. Morlok explained that traffic volume is approximately 3 times what is typical because of the detour caused by Forest Grove Drive reconstruction. He added that while funding has been allocated for a traffic signal at the intersection of Forest Grove Drive and Devils Glen Road, there is a lead time of 40 to 50 weeks for the equipment which would be installed next year. Morlok stated that widening of Devils Glen Road is programmed in the Community Improvement Program for 2026, adding that depending on available funding and council priorities it could potentially be moved up. He stated that at least one and possibly two crossings will be added at the recreational trail depending on the street configuration of future residential subdivisions to the west. He explained that the city does not distinguish between residential and commercial crossings, adding that some of the busier crossings have been upgraded with a rapid flash beacon in addition to the stop signs.

Kappeler asked if a bar would be allowed in the building shown on the northwest corner of the concept plan that would be adjacent to residential homes. Beswick explained that a special use permit approved by the Board of Adjustment would be required for a bar. Wennlund commented that because the developer of the commercial area is the owner of the future residential future homeowners would be aware of their proximity to commercial uses. Beswick added that there are required landscape buffers between more intense districts and lesser ones.

Wennlund stated that the fact that the future land use designation for the corner was commercial for decades lends itself to staff's assertion that the change to Open Space and Parks was an error in 2017. He added that if the property had been intended for use as a park or recreational area, it would not still be zoned C-1 or C-5. Hunt commented that Beswick's research found no reason for that change, adding that it is likely that the consultant saw what looked like a park use without realizing it was a temporary use as noted on the site plan. Kappeler commented that future land use is seen as a suggestion but that the zoning is legislation. Stoltenberg added that because the area is currently zoned C-1, it is irrelevant what the land use designation is.

Gannaway asked what information would have been available regarding future use of the property if a future homeowner was considering building a house in the area. Hunt stated that the zoning would have been indicated as C-1, and that after 2017 the future land use designation would have been shown as Parks and Open Space. Beswick added that when the Copper Ridge subdivisions were rezoned and developed the future land use map showed the area as commercial and office/transitional. Kappeler commented that commercial use was anticipated when Copper Ridge was developed which is evidenced by a significant berm in both width and height to screen that residential area from the proposed commercial area across the street. She stated that while single-family homes are not typically built along arterial streets, especially at intersections, Copper Ridge was developed that way. Wennlund added that Copper Ridge is zoned R-3 which makes a little more sense given its proximity to the C-1 and C-5 across the street. Stoltenberg commented that the Comprehensive Plan was updated subsequent to the development of Copper Ridge, adding that the revisions included development of small community areas where a few small retail businesses would be located within walking distance of the surrounding residents.

Beswick reviewed the uses that are allowed in the C-1 district, adding that the developer has requested a rezoning to C-2 merely to facilitate development of larger restaurants than are allowed in C-1. Stoltenberg reiterated that the developer is willing to restrict the use of the C-2 area to prohibit the majority of uses that most people would find objectionable near a residential area. He added that in addition, some of the currently zoned C-1 area is being rezoned to R-3. He stated that the proposed restrictions currently do not exist.

On motion by Kappeler, second by Stoltenberg, that the future land use amendment for property generally located at the southwest corner of Devils Glen Road and Forest Grove Drive, Open Space and Parks to UMI Urban Medium Intensity, be recommended for approval subject to staff recommendations. (Case 23-013)

ALL AYES

Motion carried.

On motion by Kappeler, second by Stoltenberg, that the future land use amendment for property generally located at the southwest corner of Devils Glen Road and Forest Grove Drive. Open Space and Parks to ULI Urban Light Intensity, be recommended for approval subject to staff recommendations. (Case 23-021)

ALL AYES

Motion carried.

On motion by Stoltenberg, second by Kappeler, that the rezoning of property generally located at the southwest corner of Devils Glen Road and Forest Grove Drive, C-1 Neighborhood Commercial District to C-2 Community Commercial District (commercial uses), be recommended for approval subject to staff recommendations. (Case 23-014)

ALL AYES

Motion carried.

On motion by Stoltenberg, second by Gannaway, that the rezoning of property generally located at the southwest corner of Devils Glen Road and Forest Grove Drive, C-1 Neighborhood Commercial District to R-1 Single-Family District, be recommended for approval subject to staff recommendations. (Case 23-017)

ALL AYES

Motion carried.

On motion by Stoltenberg, second by Kappeler, that the rezoning of property generally located at the southwest corner of Devils Glen Road and Forest Grove Drive, C-1 Neighborhood Commercial District to C-2 Community Commercial District (townhomes), be recommended for approval subject to staff recommendations. (Case 23-022)

ALL AYES

Motion carried.

On motion by Stoltenberg, second by Kappeler, that the rezoning of property generally located at the southwest corner of Devils Glen Road and Forest Grove Drive, C-1 Neighborhood Commercial District to R-3 Mixed Residential District, be recommended for approval subject to staff recommendations. (Case 23-023)

ALL AYES

Motion carried.

On motion by Stoltenberg, second by Kappeler, that the rezoning of property generally located at the southwest corner of Devils Glen Road and Forest Grove Drive, R-1 Single-Family Residence District to C-1 Neighborhood Commercial District, be recommended for approval subject to staff recommendations. (Case 23-024)

ALL AYES

Motion carried.

15. Case 23-015; SW corner of Devils Glen Road and Forest Grove Drive, R-1 Single-Family Residence District to C-2 Community Commercial District, submitted by E & A Enterprises, LLC. (Withdrawn)

16. Case 23-016; SW corner of Devils Glen Road and Forest Grove Drive, C-1 Neighborhood Commercial District to R-4 Medium-Density Multi-Family Residence District, submitted by E & A Enterprises, LLC. **(Withdrawn)**

There being no further business, the meeting adjourned at approximately 10:45 p.m.



TO: Planning and Zoning Commission
FROM: Mark D. Hunt, Community Development Director
RE: Case 22-097; 3150 Glenbrook Circle South - Site Development Plan Modification
DATE: May 17, 2023

This is a unique case, with a unique procedural posture. As the staff report addresses in more detail, the petitioner desires to ultimately develop Lot 2 and, potentially, Outlot F of Glenbrook Ridge Third Addition (the "Future Development"). In order to bring forward an application for the Future Development, the petitioner seeks to amend a previously approved site plan (removing Lot 2 from such site plan). Case 22-097 was last heard on February 15, 2023. At that time, the Commission voted unanimously to postpone their recommendation to March 15, 2023 so that staff and the petitioner could work together to bring forward a plan that was more consistent with the overall DCA concept. The Commission expressed a desire to have a better understanding of what will ultimately be brought forward for the Future Development. Representatives from the City and the petitioner have met on several occasions. The petitioner subsequently requested two deferrals as the parties continued discussions.

At this time, staff has not received an updated concept for the proposed use on the 3.08 acres (Lot 2 and Outlot F) currently utilized as stormwater detention and open space under the approved site development plan for 3150 Glenbrook Circle South. The full complement of site plan documents would be required to come forward at the next stage (i.e., following approval of the amended site plan).

With this case, as with any other, the Commission has four basic options:

1. Recommend the City Council approve the Major Site Development Plan change as presented.
2. Recommend the City Council disapprove the Major Site Development Plan change as presented.
3. Recommend the City Council approve the Major Site Development Plan change with specific conditions.
4. A fourth option would be to take no action, table, or postpone the request. Doing so would not prevent the Major Site Development Plan change from reaching City Council. A-1-2(C)(1) of the City's Zoning Code states:

The Planning and Zoning Commission shall review the site plan proposal at said meeting and receive a report from the city engineer, fire chief, the zoning administrator, the planning coordinator and receive comments from the public. The commission shall make its determination of conditions for approval of the site plan within thirty-five (35) days of the first meeting. If no action is forthcoming within the thirty-five (35) days, the site plan shall be forwarded on to the City Council for action. The City Council shall not act upon the site plan proposal until it has received a recommendation from the Planning and Zoning Commission unless such recommendation is not received within sixty (60) days from the filing date.

Should the Commission wish to explore option three, staff recommends the following conditions:

1. Approval of the Major Change to the Site Development Plan at 3150 Glenbrook Circle South is conditioned upon City Council approval of a site plan for Lot 2 (potentially including Outlot F) of Glenbrook Ridge Third Addition, and in absence of approval of such site development plan, this amended site development plan shall revert to the previously-approved site development plan.
2. Staff is supportive of conditional approval, as this is the best way to get a full understanding of the scope and detail of the Future Development. Such conditional approval of the amended site development plan does not mandate approval of the Future Development, and the full DCA site development plan review process will be required of the Future Development.



COMMUNITY DEVELOPMENT

City Hall Annex • 4403 Devils Glen Road, Bettendorf, Iowa 52722 • (563) 344-4100

February 15, 2023 – Bettendorf Planning & Zoning Commission Meeting

Staff Report

Case No. 22-097

Request: Major Change to an existing Site Development Plan (SDP)

Location: 3150 Glenbrook Circle South and adjacent properties

Legal Description: Lots 1, 2, and Outlot F, Glenbrook Ridge Third Addition
(Parcel #s: 841019401, 841019402, 8410194OLF)

Applicant: Jacob Wolfgang – Nelson Construction and Development

Zoning: Urban Medium Intensity Development Character Area (UMI-DCA)

Future Land Use: Urban Medium Intensity Future Land Use (UMI-FLU)

Background Information and Facts

The petitioner seeks approval to remove and potentially develop a 3.08-acre stormwater detention area and open space currently required as part of a previously approved SDP for the Quartet Senior Living Facility located at 3150 Glenbrook Circle South. The stormwater/greenspace area in question occupies Lot 2 and Outlot F of Glenbrook Ridge Third Addition. The Quartet occupies Lot 1 of the same subdivision.

Removal of this amount of open space constitutes a Major Change to a SDP. A Major Change to a SDP is defined in City Code as:

1. Major Changes: A change in the approved site development plan which alters the concept or intent of the development including a change in the configuration, increase in floor area, or the height of buildings, an increase in intensity, a reduction of proposed open space, a change in road locations or standards, or other major changes, shall be approved only by submission of a new site plan in accordance with the procedures as previously set forth for the approval of site development plans (11-A-1-2-G-1).

If this change were approved, the petitioner would then seek to construct a 45,078 square foot retirement residence on the open space/drainage area. The new building would contain 111 independent living units.

This staff report, to the extent possible, is limited to the analysis of the proposed Major Change to the existing SDP at the Quartet (that is the loss of the 3.08-acre drainage area/open space). While the applicant's desired development of the open space/drainage area provides context, that use is not specifically being evaluated here. That analysis would come under a separate SDP plan review subsequent to an approval of this Major Change by the City Council.

Because the proposed Major Change is within a UMI-DCA, the review is subject to the standards specified under City Code 11-A-1-3: REVIEW OF SITE PLANS FOR PROJECTS WITHIN DCA DISTRICTS. The Code requires that City staff conduct an extensive review process. The main steps in the review process are:

1. Analyze Permitted Uses and Intensity,
2. Analyze Location and Design,
3. Analyze Compatibility.

An analysis for each of these steps is provided later in this report; however, given the relative newness and limited use of DCA Zoning Districts in the City, a short review of their history and use is provided.

DCAs in Bettendorf

To date, two DCA Zoning Districts exist in Bettendorf:

- Glenbrook Ridge UMI DCA, 37.08 acres, west of Devils Glen Road and south of Field Sike Drive (location of the Major Change proposed here).
- Forest Grove Crossing UMI DCA, 56.5 acres, north of Forest Grove Drive and west of Devils Glen Road.

With adoption of the 2017 Comprehensive Land Use Plan and subsequent update to the Zoning Code, Bettendorf added DCA zoning classifications to its existing Euclidean classifications. These form-based districts were meant to provide flexibility in mixing land use types across larger project areas (20 acres or more). The City's Comprehensive Plan defines DCAs as:

A geographic area in the City where land uses share common characteristics, such as density, design, and types of uses. Some DCAs allow multiple types of land uses, while others will be predominantly one use.

City Code codifies DCAs by identifying three distinct types and identifying the uses allowed in each type. The three types of DCAs allowed under the current Zoning Code are:

- Urban Low Intensity (ULI),
- Urban Medium Intensity (UMI),
- Urban High Intensity (UHI).

11-9-4 of City Code notes the following general characteristics of a UMI DCA:

A. Purpose: These are areas with urban services including medium-density residential and neighborhood and community commercial, office, and service uses. UMI areas are vibrant, urban areas that draw customers and employees from outside the immediate area. Increased intensity (compared to ULI) improves opportunities for economic activity and social interaction.

B. Uses: A mix of complementary uses, including small lot single-family housing or multiple single-family units on one lot, low-scale multiple family buildings, schools, mid-sized parks and churches, commercial, and mixed-use developments. Amenities such as parks, plazas, and quality streetscapes should be more prevalent than in ULI areas.

As previously stated, the site in question falls within the Glenbrook Ridge UMI DCA. The standards noted above, as well as others provided in Code, informed the three-step analysis provided below.

Analysis of Permitted Uses and Intensity (Step 1)

The land uses currently in place at the Quartet are permitted in the Glenbrook Ridge UMI DCA. Strictly speaking, no new uses are being contemplated as part of the Major Change to the Quartet SDP; however, should this Major Change be approved, the petitioner is proposing a significant reduction in open space both in the existing Quartet SDP and the Glenbrook Ridge DCA overall.

The proposed reduction in open space changes the intensity of use at the Quartet site. Instead of having 120 units on an 11.38 acre site, the Major Change would result in 120 units

on 8.3 acres. Thus, the dwelling units per acre would increase from 10.54 units to 14.46. This change represents a 37% increase in the total dwelling units per acre at the existing Quartet development.

UMI DCAs are allowed 17 units per acre under the City's zoning ordinance. While the proposed change does significantly increase the dwelling units per acre at the Quartet site, it does not surpass what is allowed.

This increase represents only the impact of removing the open space from the Quartet site. An official analysis has not been completed on any future development on these lots.

Analysis of Location and Design (Step 2)

Table A-1-3D2 of the City's zoning ordinance provides a checklist of criteria to be considered in this step. The checklist and staff's response to each criterion is provided below.

FRONTAGE

Project frontage along a street should be similar to lot width.

The approved Quartet SDP shows approximately 486 feet of frontage along Glenbrook Circle South matched to a lot width of roughly 486 feet. The proposed Major Change to the Quartet SDP reduces the frontage along Glenbrook Circle South to approximately 165 feet, while the lot width remains 486 feet. The proposed Major Change does not meet this criterion.

PARKING AND INTERNAL CIRCULATION

Parking should serve all structures with minimal conflicts between pedestrians and vehicles.

The proposed Major Change does not appear to impact the parking and pedestrian flow of the approved site development plan.

All structures must be accessible to public safety vehicles.

The proposed Major Change does not appear to impact the accessibility of emergency vehicles as shown on the approved SDP.

Development must have access to adjacent public streets and ways. Internal circulation should minimize conflicts and congestion at public access points.

The proposed Major Change does not appear to impact access to adjacent public streets and ways, nor does it interfere with internal circulation.

LANDSCAPING

Landscaping should be integral to the development, providing street landscaping, breaks in uninterrupted paved areas, and buffering where required by surrounding land uses. Parts of sites with sensitive environmental features or natural drainageways should be preserved.

Staff contends the open space/drainage area is integral the Quartet's SDP and the Glenbrook Ridge DCA. The proposed Major Change appears to eliminate multiple trees from the Landscape Plan originally approved with the SDP. It also appears to remove buffering/transitioning, between the Quartet and the nearby townhomes and apartments. Changes to the existing drainage pattern would occur. The proposed Major Change does not meet this criterion.

Other.

The ability of the developer to provide the dog park as shown and required under the current SDP is severely limited by the proposed Major Change. Staff finds this to have a negative impact on the proposed Major Change.

The drainage area's pond and open space was a major focal point of the landscape aesthetic of the approved SDP. Removing this from the landscape has a significant impact to the look and feel of the built environment within the Glenbrook Ridge DCA. Staff finds this to have a negative impact on the proposed Major Change.

BUILDING DESIGN

Architectural design and building materials should be compatible with surrounding areas or highly visible locations.

The proposed Major Change does not appear to impact the architectural design of the existing SDP.

TRAFFIC CAPACITY

Project should not obstruct traffic on adjacent streets. Compensating improvements will be required to mitigate impact on street system operations. The proposed Major Change does not appear to violate this criterion.

Larger commercial or office use areas should begin on or near arterial and collector streets.

The proposed Major Change does not appear to violate this criterion.

Smaller commercial uses areas may be appropriate to begin on or near collector and local streets.

The proposed Major Change does not appear to violate this criterion.

EXTERNAL TRAFFIC EFFECTS

Project design should attempt to direct non-residential traffic away from residential areas.

The proposed Major Change does not appear to violate this criterion.

OPERATING HOURS

Projects with long operating hours must minimize effects on surrounding residential areas.

The proposed Major Change does not appear to violate this criterion.

OUTSIDE STORAGE

Outside storage areas must be screened from surrounding streets and less intensive land uses.

The proposed Major Change does not appear to violate this criterion.

SANITARY WASTE DISPOSAL

Developments within 300 feet of a public sanitary sewer must connect to sewer system. Individual disposal systems, if permitted, shall not adversely affect public health, safety, or welfare.

The proposed Major Change does not appear to violate this criterion.

Sanitary sewer must have adequate capacity to serve development.

The proposed Major Change does not appear to violate this criterion.

STORM WATER MANAGEMENT

Development should handle storm water adequately to prevent overloading of public storm water management system.

The proposed Major Change appears to indicate modifications to the stormwater management system for the Quartet, but a formal analysis of any changes to that system are premature at this time.

Storm water runoff should not inhibit development of other properties.

See above.

Development should not increase probability of erosion, flooding, landslides, or other runoff-related effects.

See above.

Compatibility (Step 3)

With this step of the analysis, the Code requires staff to consider if the proposed Major Change to the Quartet's SDP is compatible with the neighboring land uses. More specifically, what are the externalities of removing the 3.08-acre drainage area/open space from the Quartet's approved SDP and the Glenbrook Ridge UMI DCA.

Table A-1-3E1 of the City's zoning ordinance provides general guidance on addressing compatibility in the different DCAs. For UMI DCA's the code states:

Different types of land use are positioned to create a smooth internal transition from lower to higher intensity uses; however, this transition happens over a shorter distance than within the ULI designation.

Removing the open space/drainage from the Quartet's SDP and replacing it with development will reduce the internal transitioning and buffering between uses within the Glenbrook Ridge UMI DCA. The exact extent of this reduction is dependent upon the amount of development that occurs on the open space/drainage area. Staff contends that the open space/drainage area provides an important transitional buffer between the existing townhomes to north and the apartments to the east. The more this transitional buffer is eroded, the less supportive staff would be of the change.

One way to gauge what might be allowable under City code as a tradeoff for the loss of open space/drainage area is to look at the zoning code's guidance for the desirable housing mix in a UMI DCA. Table 11-8-3-C of City Code lists the desirable housing mix in a UMI DCA as 30-50% single-family detached; 20-25% attached dwellings; and 20-35% multi-family dwellings.

The current housing mix in the Glenbrook Ridge UMI DCA is 83% multi-family, 10% attached dwellings, and 7% single family. Considering this imbalance relative to the desired percentages, staff would recommend the applicant look at options such as single-family homes or townhomes that would help bring the DCA closer to the desired balance and be compatible with the surrounding land uses.

Staff Recommendation

Staff recommends denial of the proposed Major Change to the Quartet's existing SDP. Allowing such a change would not align with the location and design criteria specified in City Code. The Major Change appears to conflict with required improvements such as the dog park and landscaping required under the existing SDP. The change would also present

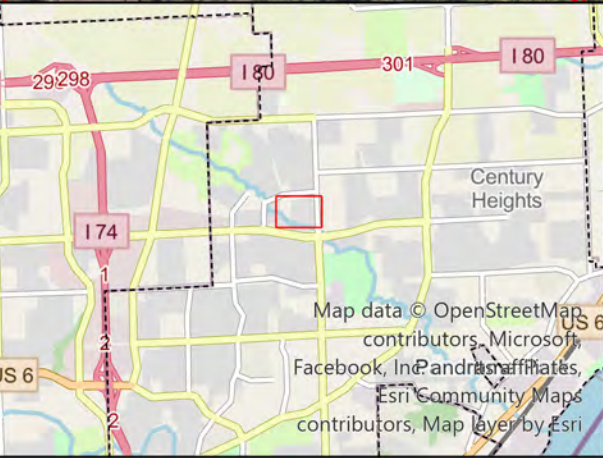
significant compatibility issues and potentially worsen an imbalance in the desired housing mix for the Glenbrook Ridge UMI DCA.

Sincerely,

Mark D. Hunt
Community Development Director

Attachments:

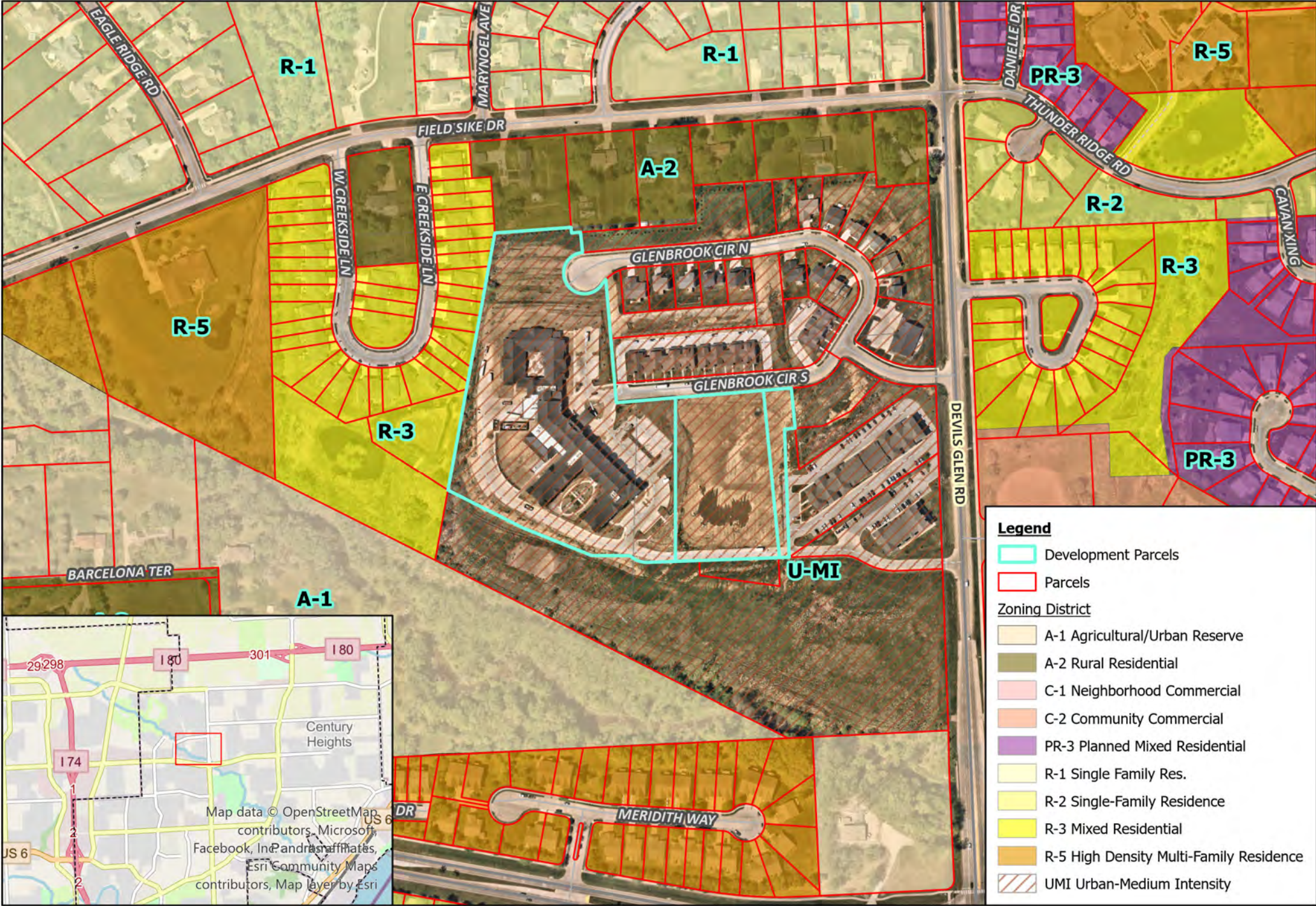
- (A) Aerial Map
- (B) Zoning Map
- (C) Future Land Use Map
- (D) Final Plat Glenbrook Ridge 3rd Addition
- (E) 3150 Glenbrook Circle South Current SDP
- (F) 3150 Glenbrook Circle South Proposed Major Change to SDP
- (G) Response to staff comments



Map data © OpenStreetMap contributors, Microsoft, Facebook, In@ndra affiliates, Esri Community Maps contributors, Map layer by Esri

Legend

- Development Parcels
- Parcels



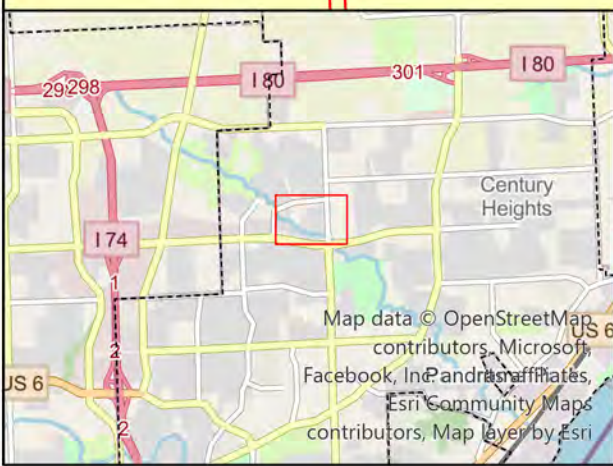
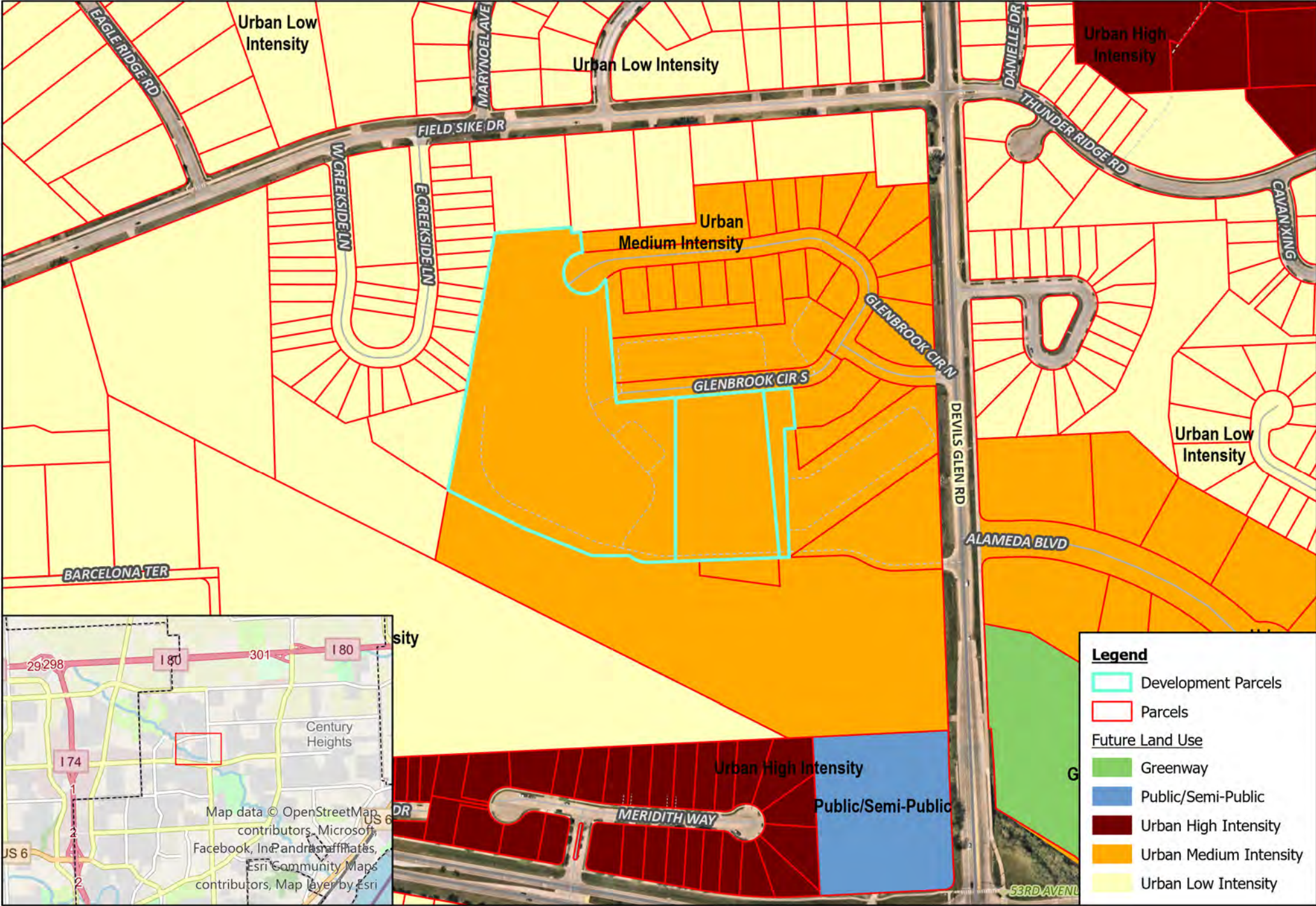
Legend

- Development Parcels
- Parcels

Zoning District

- A-1 Agricultural/Urban Reserve
- A-2 Rural Residential
- C-1 Neighborhood Commercial
- C-2 Community Commercial
- PR-3 Planned Mixed Residential
- R-1 Single Family Res.
- R-2 Single-Family Residence
- R-3 Mixed Residential
- R-5 High Density Multi-Family Residence
- UMI Urban-Medium Intensity

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Legend

- Development Parcels
- Parcels

Future Land Use

- Greenway
- Public/Semi-Public
- Urban High Intensity
- Urban Medium Intensity
- Urban Low Intensity

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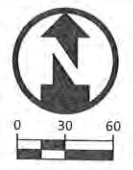
FINAL PLAT

GLENBROOK RIDGE THIRD ADDITION

A REPLAT OF LOTS 2, 3, 6, 7, 13, 16 AND 17
OF GLENBROOK RIDGE SECOND ADDITION
BETTENDORF, IOWA

FOR RECORDER'S USE ONLY

RECORDER'S INDEX	
COUNTY:	SCOTT
SECTION:	10-78N-4E
QUARTER SECTION:	
CITY:	BETTENDORF
SUBDIVISION:	GLENBROOK RIDGE SECOND ADDITION
BLOCK:	NA
LOT(S):	2, 3, 6, 7, 13, 16, AND 17
PROPRIETOR:	DEVILS GLEN HOLDING, LLC
REQUESTED BY:	DEVILS GLEN HOLDING, LLC
PREPARED BY:	AXIOM CONSULTANTS, LLC, 60 E. COURT ST. UNIT 3 IOWA CITY, IA 52240 - PH# 319.519.6220



ENGINEER	DATE
DESCRIPTION OF CHANGES	
REV	

ISSUED FOR	DATE ISSUED

PROJECT NAME	CLIENT NAME
GLENBROOK RIDGE THIRD ADDITION	DEVIL'S GLEN HOLDING, LLC

SHEET NUMBER	PROJECT NO.	SHEET NAME
1 OF 1	19-0078	BETTIS

PLAT PREPARED BY:
AXIOM CONSULTANTS
60 E. COURT STREET, UNIT 3
IOWA CITY, IA 52240

OWNER:
Lots 1, 2 & OL F
NELSON CONSTRUCTION &
DEVELOPMENT
218 6TH AVENUE, SUITE 200
DES MOINES, IA 50309

SUBDIVIDER'S ATTORNEY:
BRYCE K. DALTON
KIRTON MCCONKIE
50 E. SOUTH TEMPLE #400
SALT LAKE CITY, UT 84111
801-328-3600
BDALTON@KMLAW.COM

OWNER:
Lot 5
SCOTT WEBSTER
PREMIER CUSTOM HOMES
5773 CALIFORNIA DRIVE
BETTENDORF, IA 52722
SMW212121@CLOUD.COM

LEGAL DESCRIPTION
LOTS 2, 3, 6, 7, 13, 16, 17, OUTLOT E, AND DETENTION OUTLOTS 3 THRU 5 OF GLENBROOK RIDGE SECOND ADDITION AS RECORDED IN BOOK 2019, PAGE 11022 IN THE SCOTT COUNTY RECORDER'S OFFICE, IN THE CITY OF BETTENDORF, SCOTT COUNTY, IOWA.

OUTLOT INFORMATION:

1. DETENTION OUTLOT #3 FOR PUBLIC STORM WATER MANAGEMENT.
2. OUTLOT E FOR COMMON OPEN SPACE.
3. OUTLOT F FOR COMMON OPEN SPACE.

NOTES:

1. BASIS OF BEARINGS IS THE IOWA PLANE COORDINATE SYSTEM SOUTH ZONE NAD 83.
2. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS AND ROADWAYS OF RECORD.
3. NO INVESTIGATION CONCERNING ENVIRONMENTAL AND SUBSURFACE CONDITIONS, OR FOR THE EXISTENCE OF UNDERGROUND CONTAINERS, STRUCTURES OR FACILITIES WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY WAS MADE AS A PART OF THIS SURVEY.
4. NO INVESTIGATION WAS MADE AS A PART OF THIS SURVEY TO DETERMINE OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITIES OR MUNICIPAL FACILITIES, EXCEPT AS NOTED. CALL IOWA ONE-CALL AT 1-800-292-8989 FOR INFORMATION REGARDING THESE UTILITIES OR FACILITIES.
5. PART OF THIS SUBDIVISION IS SUBJECT TO A SPECIAL FLOOD HAZARD AREA AS DESIGNATED BY FEMA ON COMMUNITY FIRM MAP NO. 19163C0378F WITH AN EFFECTIVE DATE OF FEBRUARY 18, 2011.
6. DISTANCES ARE LISTED IN FEET AND DECIMAL PART OF A FOOT.
7. ALL MONUMENTS HAVE BEEN FOUND OR WILL BE SET AS SHOWN ON THIS PLAT BY DECEMBER 31, 2020.
8. PLAT NOTES ESTABLISH REQUIREMENTS FOR HOW A SUBDIVISION WILL DEVELOP. HOWEVER, THE CITY RESERVES THE RIGHT IN ITS SOLE DISCRETION TO ALTER OR AMEND ANY PLAT NOTE, OR TO SELL OR VACATE ANY RIGHT OF WAY OR UTILITY DEDICATED WITHIN THE PLAT. FURTHER THE CITY RESERVES THE RIGHT UPON REQUEST OF THE OWNER TO RELOCATE ANY EASEMENT, ALTER LOT BOUNDARIES OR ALLOW GROUND TO BE REPLATTED.
9. BLANKET UNDERGROUND EASEMENTS GRANTED FOR ALL PRIMARY AND SECONDARY ELECTRIC CABLES, PAD MOUNTED TRANSFORMERS, ELECTRIC TRANSFORMERS, PRIMARY CABLE, GAS SERVICE, WATER SERVICE, SEWER LATERALS, TELEPHONE SERVICE AND CABLE T.V. TO INDIVIDUAL STRUCTURES AND STREET LIGHTS.
10. BLANKET ACCESS EASEMENTS ACROSS LOTS 1 AND 2 ARE GRANTED TO THE OWNERS OF ALL OF THOSE LOTS.
11. MINIMUM 4-FT WIDE SIDEWALK ON INTERIOR RIGHTS-OF-WAY.
12. ALL PRIVATE DRIVES SHALL BE OWNED AND MAINTAINED BY THE OWNERS OF LOTS NOT FRONTING GLENBROOK CIRCLE NORTH RIGHT-OF-WAY.
13. ALL EXISTING EASEMENTS ORIGINAL TO GLENBROOK RIDGE 1ST AND 2ND ADDITION SHALL BE VACATED WITH THE RECORDING OF THIS APPROVED PLAT
14. UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE IN FEET AND HUNDRETHS.
15. ERROR OF CLOSURE IS LESS THAN 1 IN 20,000

ZONING:
URBAN MEDIUM INTENSITY (UMI)

SETBACKS

FRONT	25 FT
SIDE	5 FT MIN; ONE SIDE=10; TOTAL=15, MIN.=15
REAR	25 FT

CITY OF BETTENDORF

By: *Scott P. Leah* DATE: 6-4-20

ATTEST: _____ DATE: _____

PLANNING AND ZONING

By: *Phyllis P* DATE: 5-29-20

IOWA - AMERICAN WATER CO.

By: *Julie Allender* DATE: 5-26-20

MIDAMERICAN ENERGY COMPANY

By: *Frank* DATE: 5-26-20

MEDIACOM

By: *John Auer* DATE: 5-26-20

CENTURYLINK

By: *Christy E. O...* DATE: 5-26-20



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

Bradley R. Geater 5/26/20

BRADLEY R. GEATER, P.L.S., P.E.
LICENSE NUMBER 19828
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2021.

PAGES OR SHEETS COVERED BY THIS SEAL: THIS PLAT

LEGEND

- PROPERTY CORNER - 5/8" Ø REBAR WITH OPC # 19828 OR AS LABELED
- PROPERTY CORNER - SET 5/8" Ø REBAR WITH OPC #19828
- ORANGE PLASTIC CAP
- BOUNDARY OR PROPERTY LINE
- - - EXISTING PROPERTY LINE
- - - EASEMENT
- - - EASEMENT

ERROR OF CLOSURE IS LESS THAN 1 IN 20,000

CURVE TABLE						LINE TABLE		
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIR.	CHORD LEN.	LINE #	LENGTH	BEARING
C1	224.47	55.50	231°43'51"	S30°41'36"E	99.88	L1	52.00	N04°49'40"W
C2	63.93	99.50	36°48'56"	N51°50'57"E	62.84	L2	28.46	S85°10'20"W
C3	28.13	526.00	3°03'52"	N81°41'10"E	28.13	L3	31.14	S85°10'20"W
C4	68.55	72.03	54°31'27"	S58°41'38"W	65.99	L4	25.94	S87°53'01"W
C5	52.37	66.00	45°27'46"	N69°18'32"W	51.01	L5	50.00	N02°06'59"W
C6	17.38	99.50	10°00'19"	N38°26'38"E	17.35	L6	100.00	S89°54'36"W
C7	46.56	99.50	26°48'37"	N56°51'07"E	46.14	L7	31.87	S00°05'24"E
						L8	69.47	S84°31'08"W
						L9	185.62	N05°28'52"W
						L10	189.91	N05°28'52"W
						L11	184.98	S89°11'56"W
						L12	55.46	S05°28'52"E
						L19	63.77	S05°28'52"E

NW CORNER LOT 7
GLENBROOK RIDGE
SECOND ADDITION
FOUND 5/8" REBAR

LEWIS FIRST ADDITION
BK 2017/ PG 28948
IN SCOTT COUNTY RECORDER'S
OFFICE

GLENBROOK RIDGE
BK 2017/ PG 18870
IN SCOTT COUNTY
RECORDER'S OFFICE

N10°26'04"E 702.42'
25' BUFFER BOUNDARY

CONSERVATION EASEMENT

20' UTILITY EASEMENT

50' WATERMAIN, SANITARY SEWER,
AND STORM SEWER EASEMENT

SW CORNER LOT 7
GLENBROOK RIDGE
SECOND ADDITION
FOUND 5/8" OPC 19828

N63°39'59"W 223.25'

N68°14'16"W 199.01'

SANITARY SEWER EASEMENT

31' ACCESS AND UTILITY EASEMENT

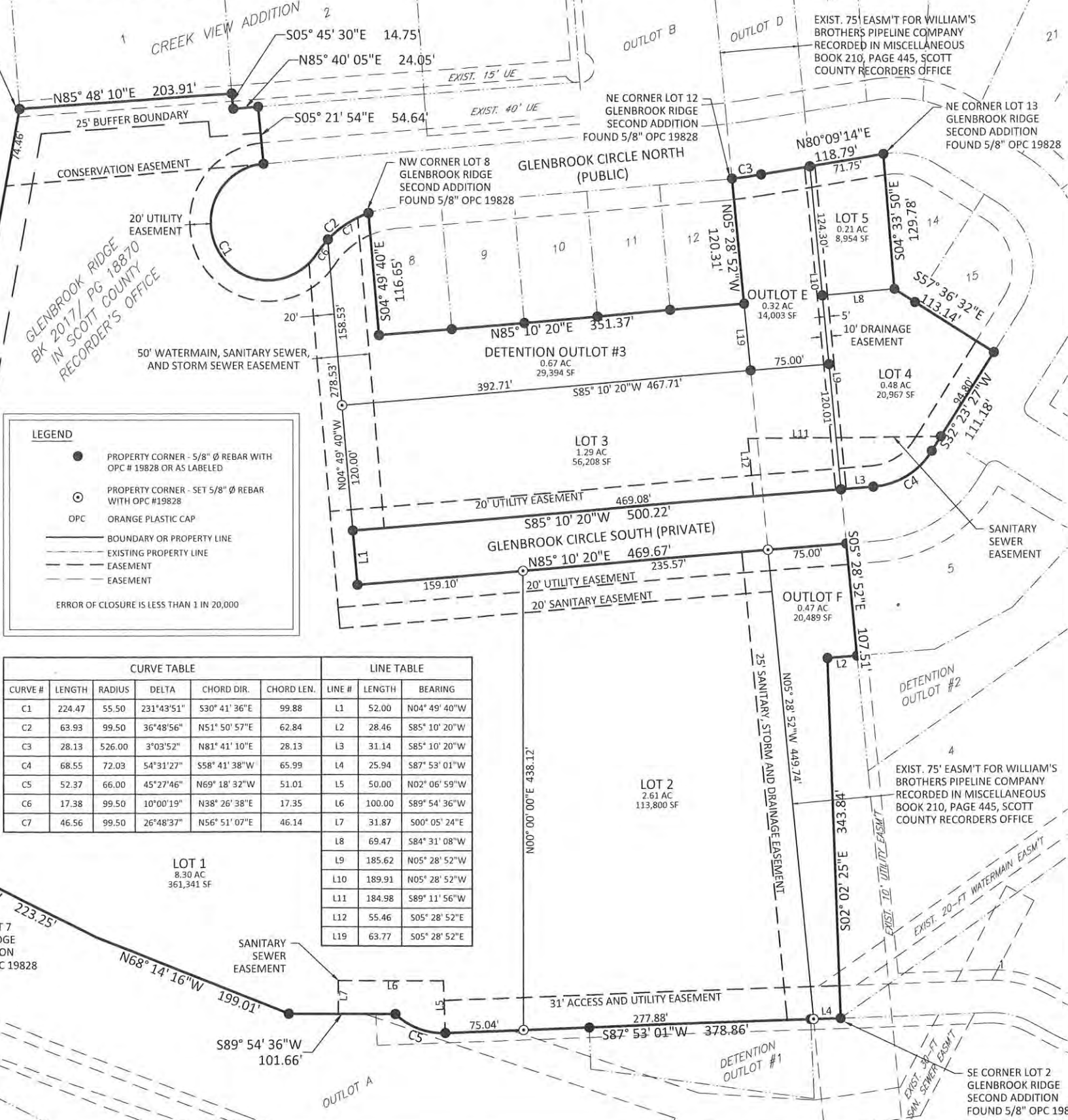
75.04'

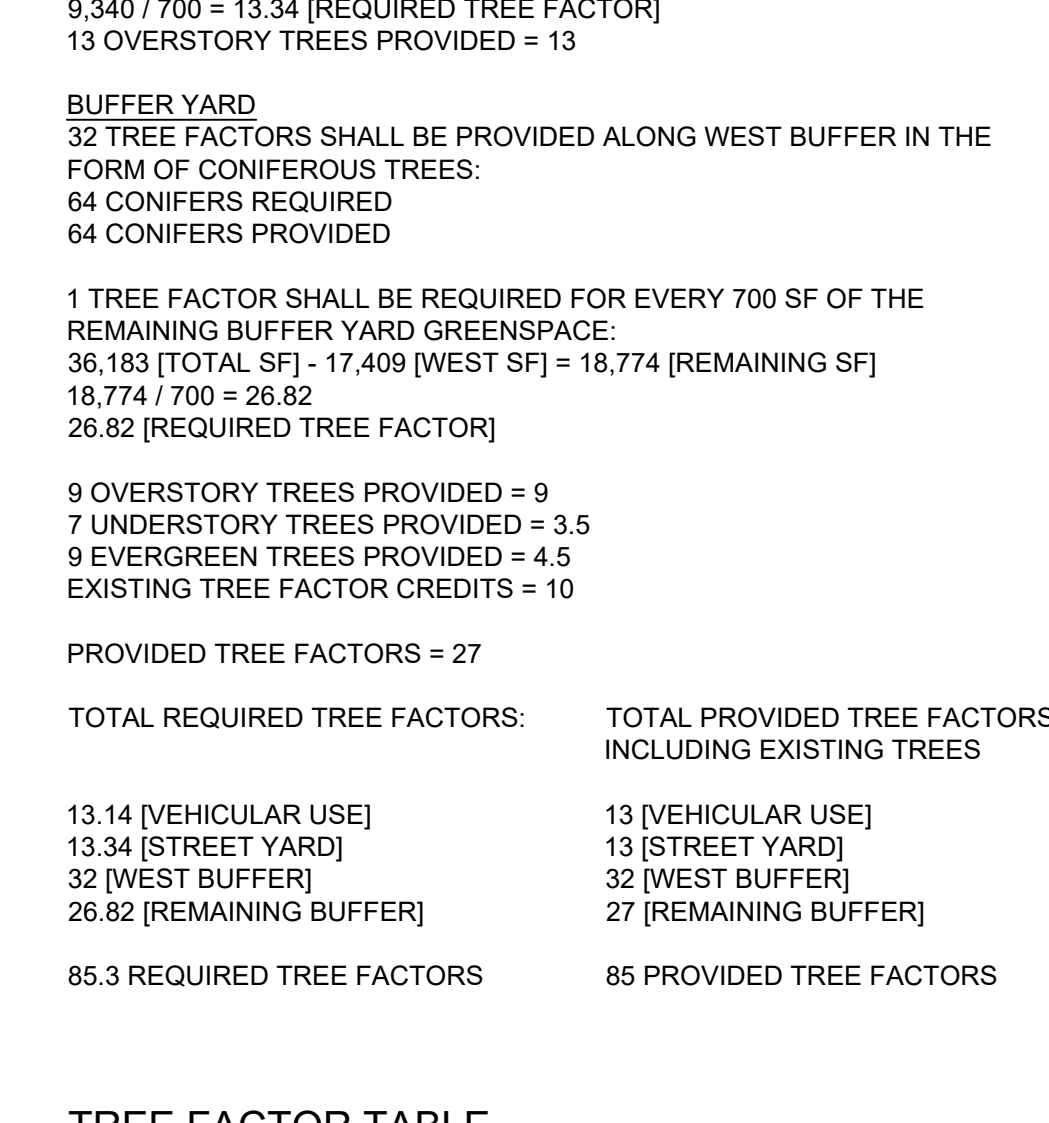
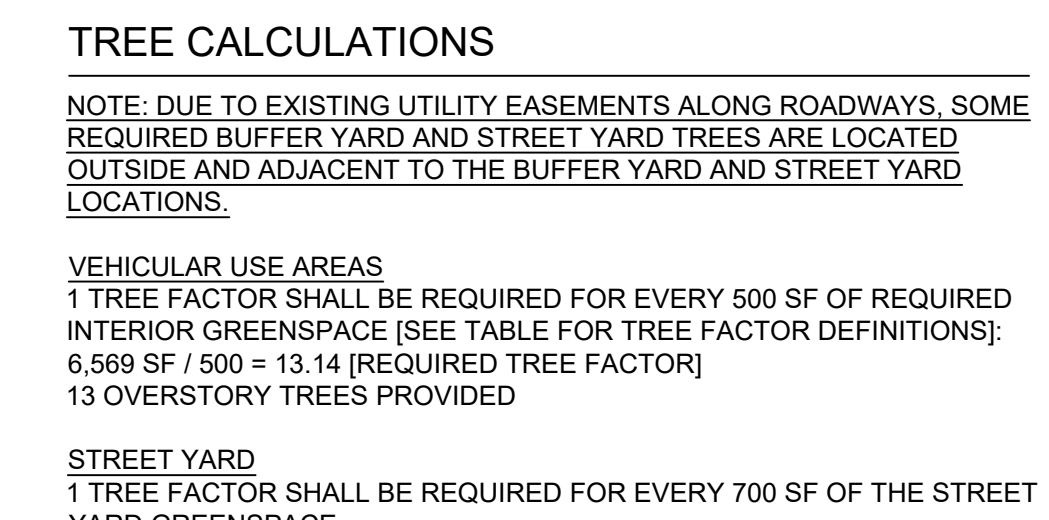
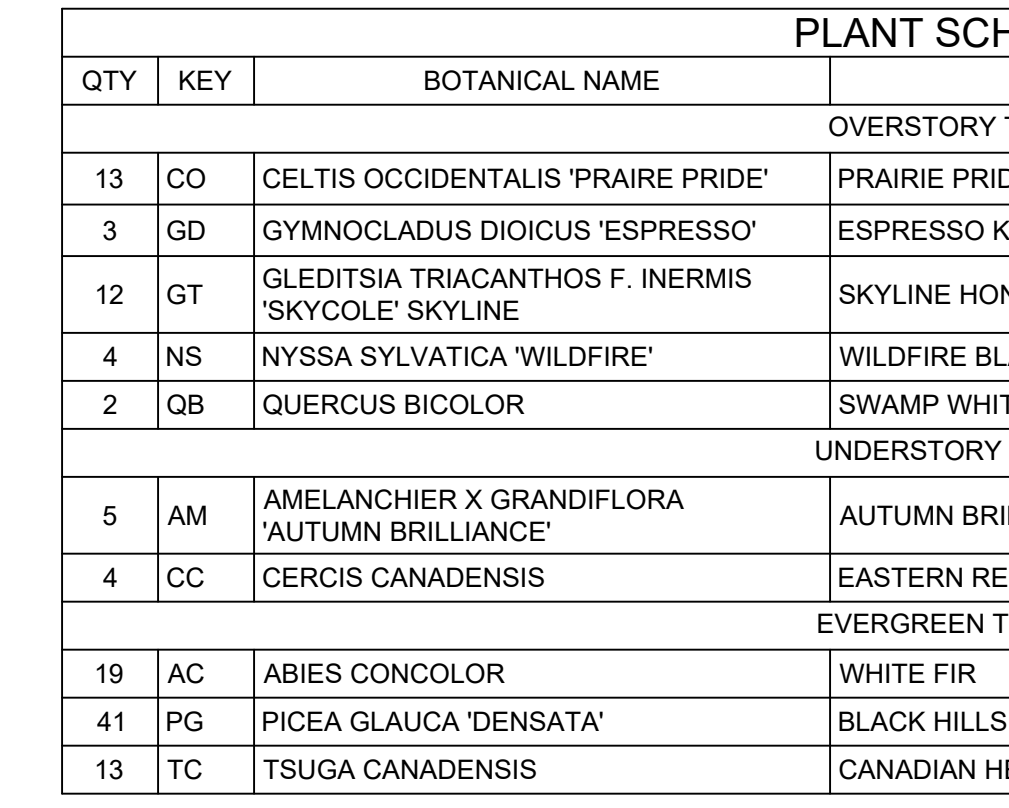
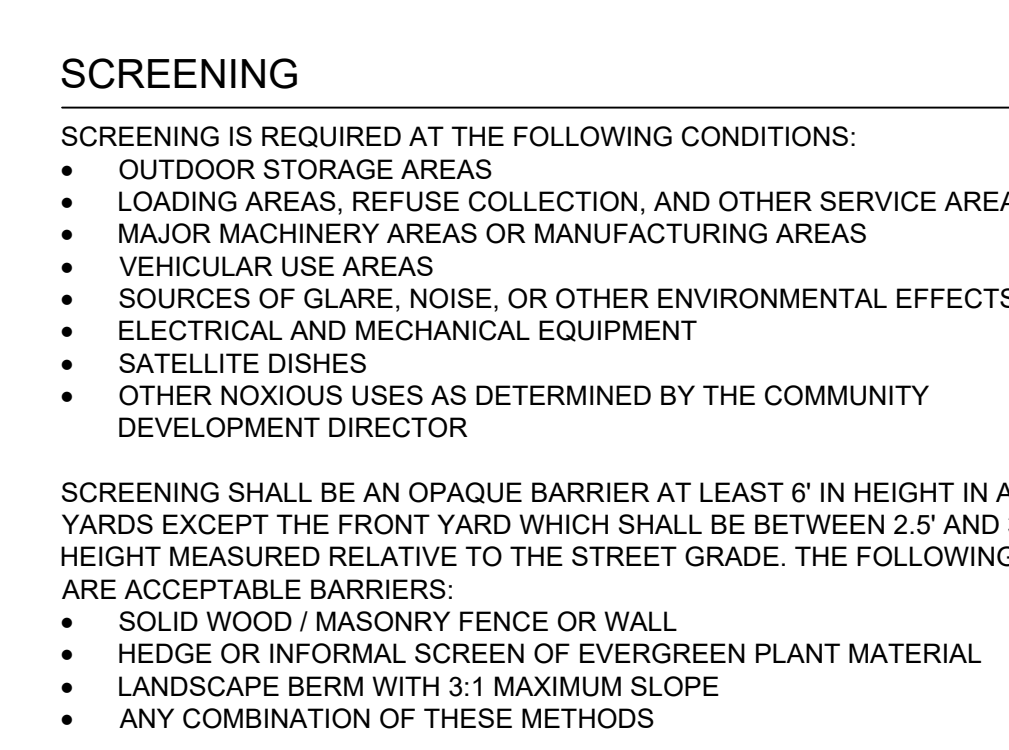
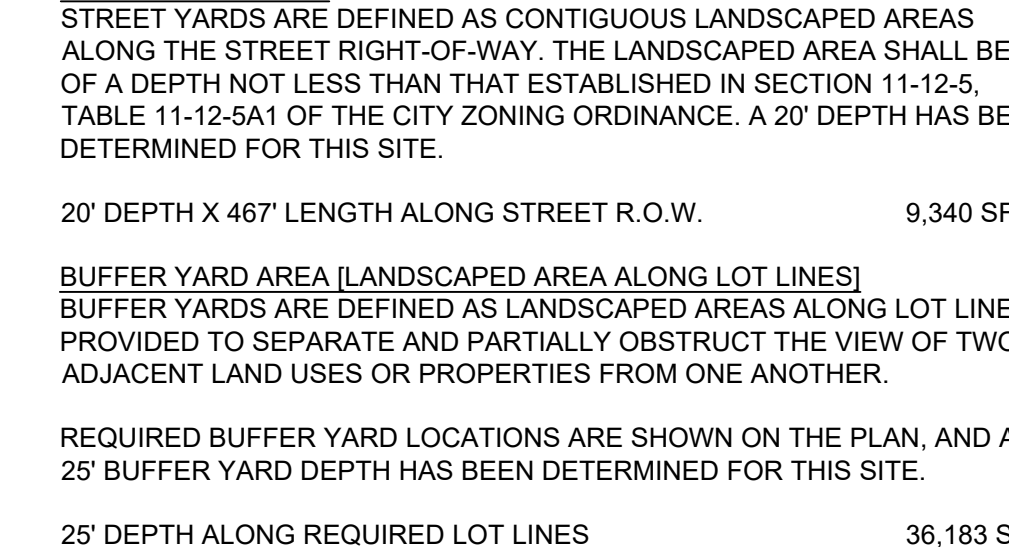
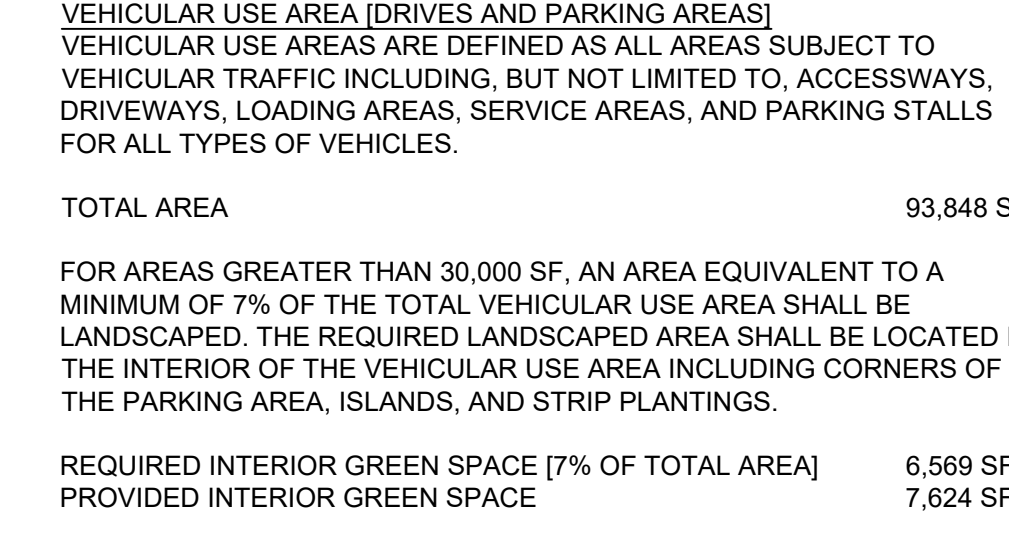
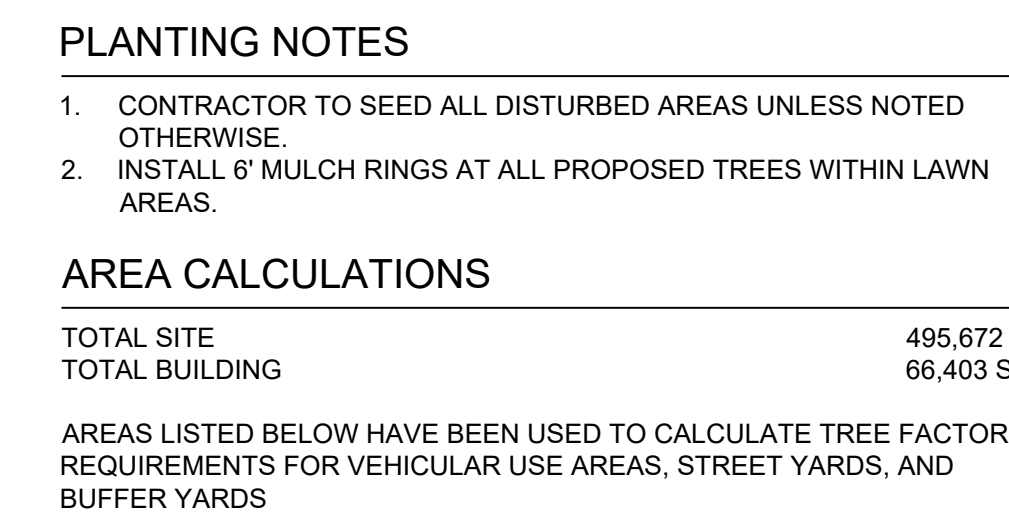
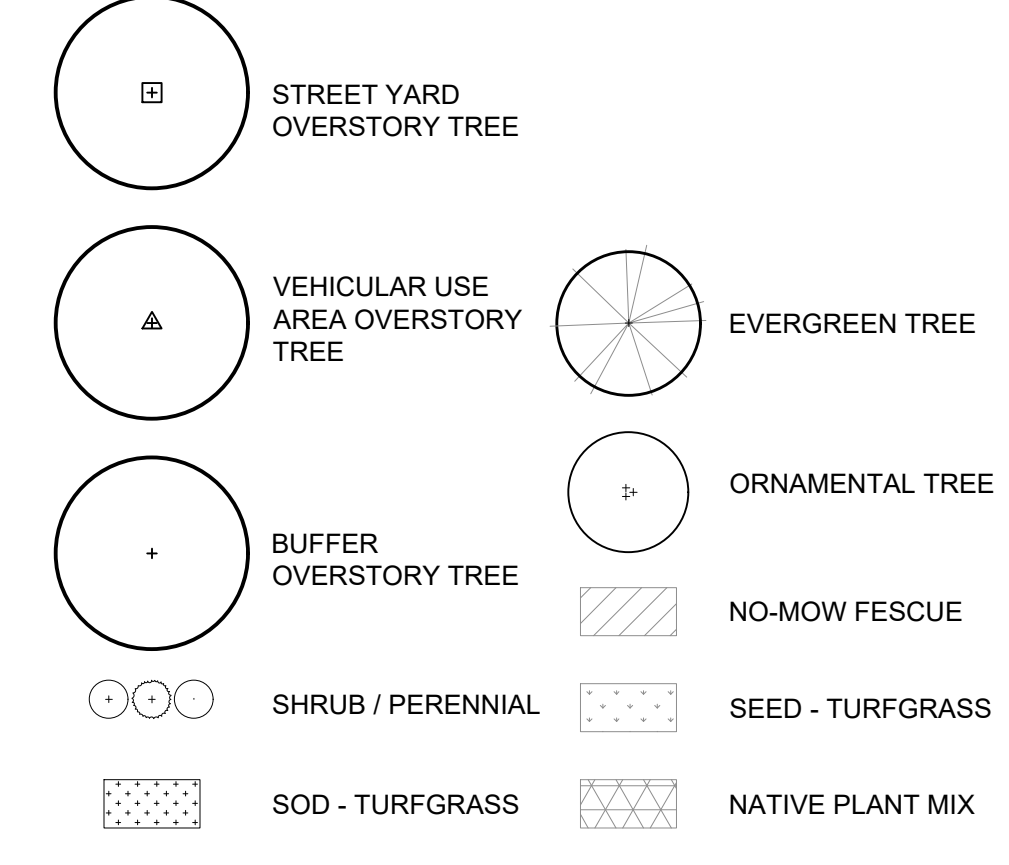
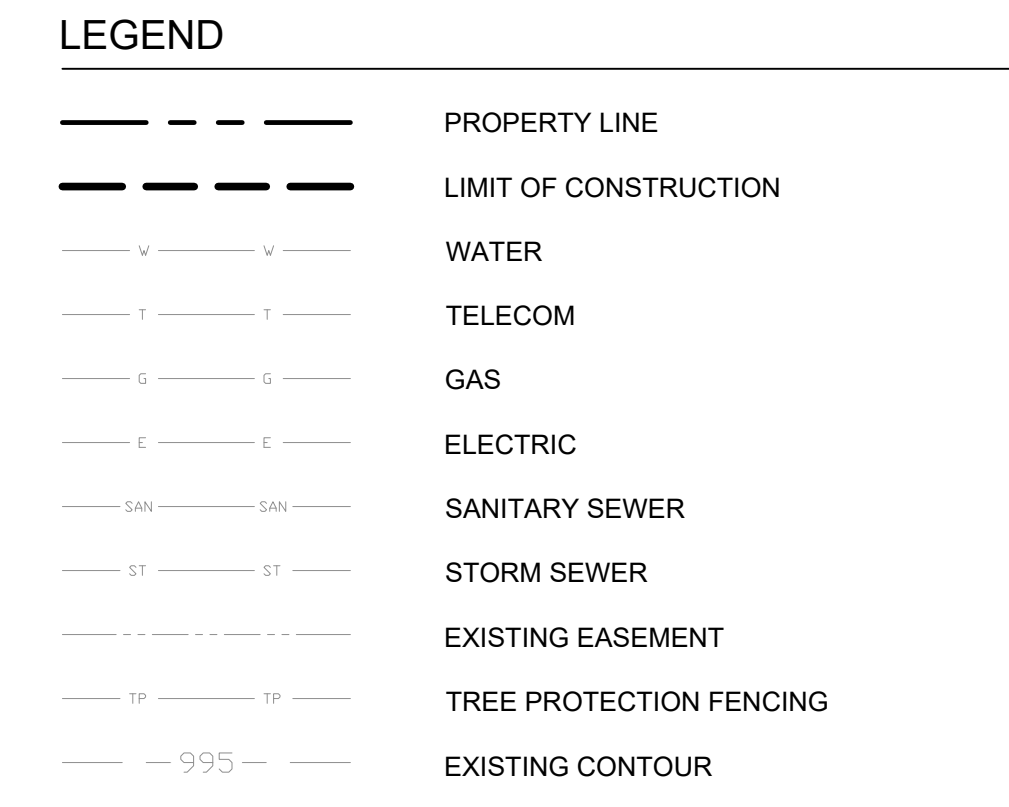
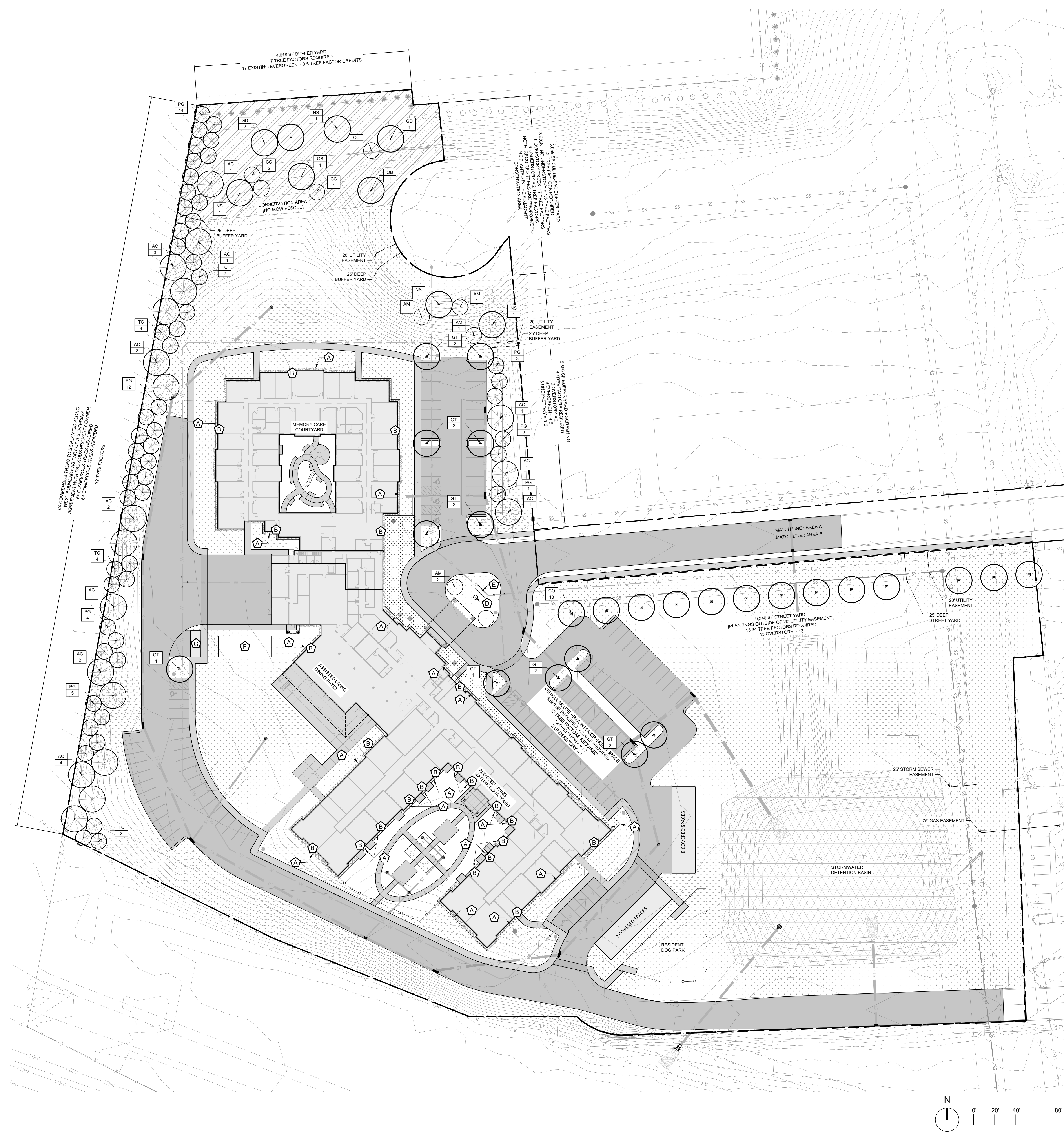
277.88'

S87°53'01"W 378.86'

DETENTION OUTLOT #1

SE CORNER LOT 2
GLENBROOK RIDGE
SECOND ADDITION
FOUND 5/8" OPC 19828





GLENBROOK RIDGE
SENIOR LIVING
 DEVILS GLEN ROAD & FIELD SIKE ROAD
 BETTENDORF, IA

SHEET TITLE
PLANTING PLAN - OVERALL

PROJECT NUMBER: 19039

SHEET NUMBER:

L-100

DRAWN BY: Author CHECKED BY: Checker

SITE PLAN FOR GLENBROOK RIDGE SENIOR LIVING IN THE CITY OF BETTENDORF SCOTT COUNTY, IOWA

SITE INFORMATION

PROPERTY LOCATION	WEST END OF GLENBROOK CIRCLE SOUTH		
REQUIRED PARKING	1.5 SPACES PER INDEPENDENT LIVING UNIT - 1 X 32 =		48 REQUIRED STALLS
	½ SPACE PER ASSISTED LIVING UNIT - ½ X 56 UNITS =		28 REQUIRED STALLS
	½ SPACE PER NURSING/CONVALESCENT BED PLUS 1 SPACE PER EMPLOYEE		
	½ X 32 BED + 30 MC EMPLOYEES (EST.)		38 REQUIRED STALLS
			114 TOTAL REQUIRED PARKING STALLS
PROPOSED PARKING	128 SPOTS WITH 6 ADA STALLS (PLAN SHOWS 113 SURFACE STALLS AND 15 COVERED PARKING SPACES *)		
	*COVERED PARKING SPACES MAY BECOME SURFACE SPACES DEPENDING ON PROJECT BUDGET.		
EXISTING SITE	495,671 SF	11.38 AC	(100%)
BUILDING AREA =	0 SF	0 AC	(0%)
PAVEMENT =	0 SF	0 AC	(0%)
OPEN SPACE =	495,671 SF	11.38 AC	(100%)
PROPOSED SITE	495,671 SF	11.38 AC	(100%)
BUILDING AREA =	66,405 SF	1.52 AC	(13%)
PAVEMENT =	110,658 SF	2.54 AC	(22%)
OPEN SPACE =	318,608 SF	7.31 AC	(64%)
*DOES NOT INCLUDE AREA WITHIN PRIVATE STREET ROW.			
ZONING	URBAN MEDIUM INTENSITY (UMI)		
FEMA FLOODWAY INFORMATION	MAP NUMBER 19163C0378F EFFECTIVE FEBRUARY 18, 2011		
	100-YR FLOODPLAIN ELEVATION = 661.00		
	500-YR FLOODPLAIN ELEVATION = 662.50		
YARD SETBACKS			
FRONT	25 FT		
SIDE	5 FT MIN; ONE SIDE=10; TOTAL=15 MIN. 15		
REAR	25 FT		
PROPOSED USE	RETIREMENT RESIDENCE		
BUILDING TYPE PER 2015 IBC:	TYPE V-A PER 2015 IBC, BUILDING WILL BE FIRE SPRINKLED		
OCCUPANCY TYPE PER 2015 IBC:	I-1 CONDITION 2		
FLOOR AREA			
TOTAL FLOOR AREA:	138,853 SF		
FIRST FLOOR	67,506 SF		
SECOND FLOOR	36,108 SF		
THIRD FLOOR	35,239 SF		

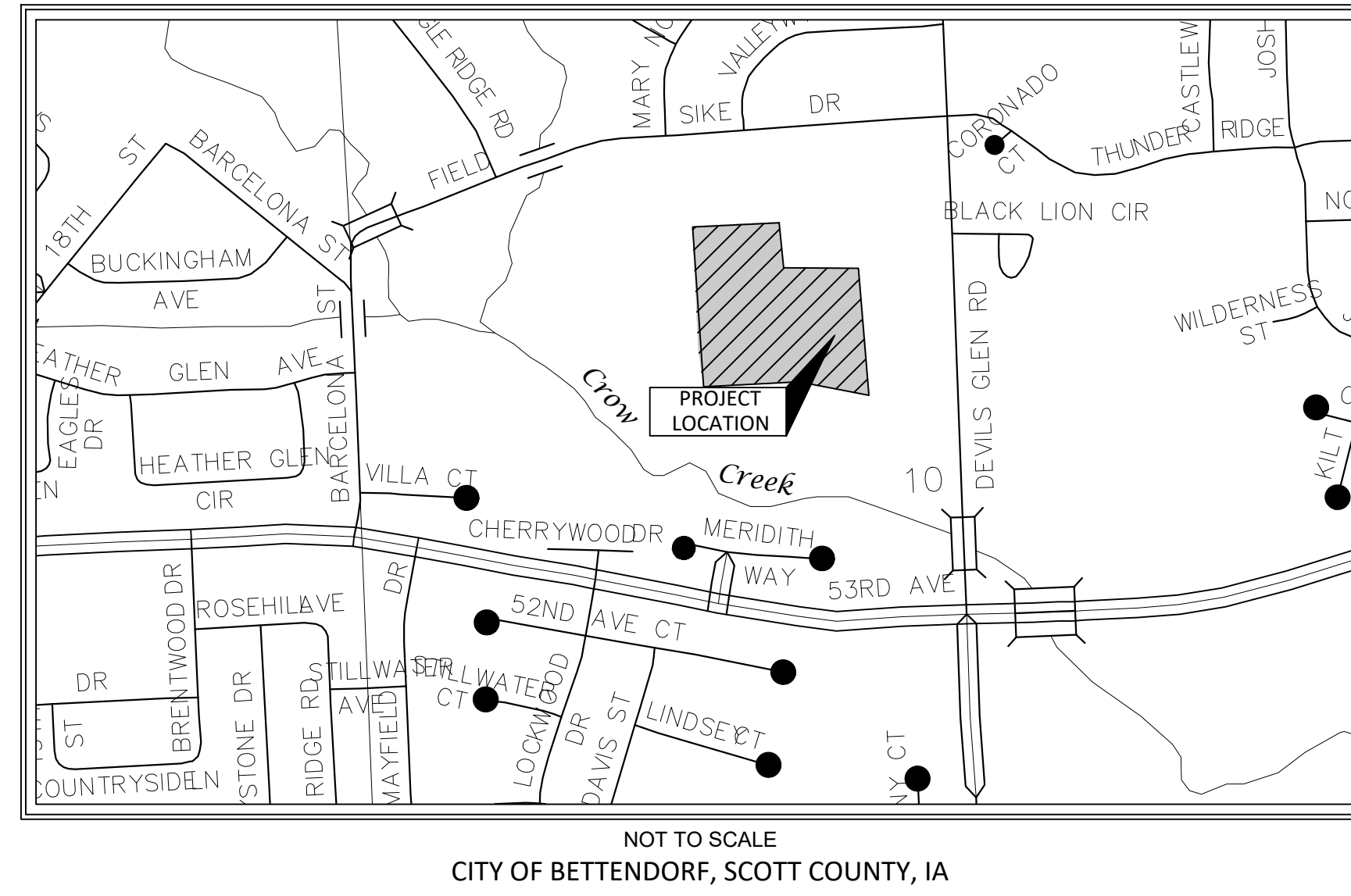
UTILITY & EMERGENCY CONTACTS

THE FOLLOWING UTILITY COMPANIES MAY HAVE FACILITIES IN PROXIMITY TO THE PROJECT:	
MIDAMERICAN ENERGY CONTACT: DIANNE HIRL PHONE: 309/793-3645 EMAIL: DHHIRL@MIDAMERICAN.COM	MEDIA COM COMMUNICATIONS CORP. CONTACT: MITCH HANCOCK PHONE: 309/743-4735 MHANCOCK@MEDIACOMCC.COM
CENTURYLINK CONTACT: TOM STURMER PHONE: 720/578-8090 EMAIL: THOMAS.STURMER@CENTURYLINK.COM	MAGELLAN MIDSTREAM PARTNERS CONTACT: DYLAN GILLEAN PHONE: 918/574-7098 WILCALL2@MAGELLANLP.COM
GENESECO COMMUNICATIONS CONTACT: ROGER GRANELL PHONE: 309/944-8025 EMAIL: ROGER.GRANELL@GENESECO.COM	
IOWA AMERICAN WATER COMPANY CONTACT: JULIE ALLENDER PHONE: 563/468-9222 EMAIL: JULIE.ALLENDER@AMWATER.COM	

CITY CONTACTS

CITY OF BETTENDORF	
PUBLIC WORKS	4403 DEVILS GLEN RD BETTENDORF, IA 52722 563/344-4088
CITY ENGINEER	BRENT MORLOK 4403 DEVILS GLEN RD BETTENDORF, IA 52722 563/344-4063 BMORLOK@BETTENDORF.ORG

PROJECT VICINITY MAP CITY OF BETTENDORF



NOT TO SCALE
CITY OF BETTENDORF, SCOTT COUNTY, IA

THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH THE CITY OF BETTENDORF DESIGN STANDARDS. NO DESIGN VARIANCES REQUESTED.

LEGAL DESCRIPTION:
A REPLAT OF LOTS 2, 3, 6, 7, 13, 16, 17 AND OUTLOT C, OUTLOT E, DETENTION OUTLOT 3, DETENTION OUTLOT 4, AND DETENTION OUTLOT 5 OF GLENBROOK RIDGE SECOND ADDITION AS RECORDED IN FILE 2019-00011022 AND 2019-00017182 IN THE SCOTT COUNTY RECORDER'S OFFICE.

INDEX OF SHEETS	
C0.00	COVER SHEET
C2.00	OVERALL SITE PLAN

SUMMARY OF PUBLIC INFRASTRUCTURE QUANTITIES		
PROPOSED 8" PVC TRUSS SANITARY SEWER PIPE	LF	908
PROPOSED SANITARY SEWER MANHOLE	EA	3

CITY APPROVAL

BY: _____ DATE: _____

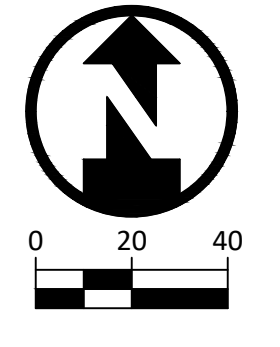
CITY'S ENGINEER'S RECOMMENDATION

BY: _____ DATE: _____

OWNER/APPLICANT: NELSON CONSTRUCTION & DEVELOPMENT C/O JACOB WOLFGANG 218 6TH AVENUE, SUITE 200 DES MOINES, IA 50309 515-720-6170 JACOB@NELSONCONST.COM	PREPARED BY: AXIOM CONSULTANTS, LLC C/O NICK BETTIS, P.E. 60 E. COURT STREET, UNIT 3 IOWA CITY, IOWA 52240 319-519-6220 NBETTIS@AXIOM-CON.COM
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**GLENBROOK RIDGE
SENIOR LIVING**
 DEVILS GLEN ROAD & FIELD SIKE ROAD
 BETTENDORF, IA



SITE PLAN KEYNOTES

- A ADA CURB RAMP. REFER TO SUDAS DETAIL 7030.206
- B PROPOSED 4" CONCRETE WALK.
- C PROPOSED CONCRETE PAVEMENT.
- D PROPOSED STORM WATER MANAGEMENT AREA
- E REMOVE EXISTING SANITARY SEWER AND SERVICE LINE
- F REMOVE EXISTING STORM PIPE
- G REFUSE AND RECYCLING ENCLOSURE
- H RELOCATED PUBLIC SANITARY SEWER
- I COVERED DROPOFF

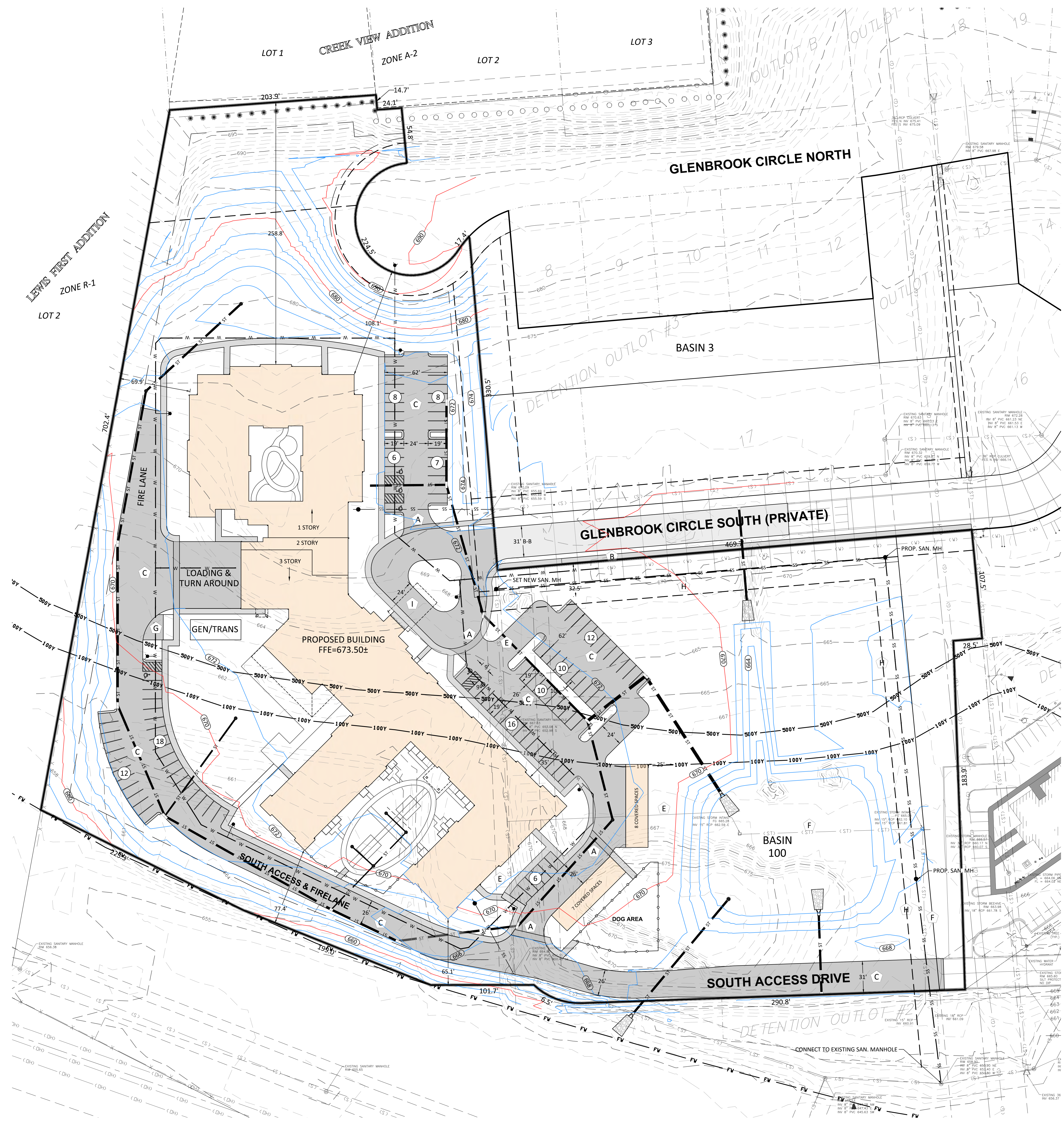
SITE PLAN NOTES

1. ALL PROPOSED WATERMAIN IS TO BE 8" PVC C900.
2. ALL PROPOSED SANITARY SEWER IS TO BE 8" PVC TRUSS.
3. CONNECT DOWNSPOUTS TO STORM SEWER.
4. 100-YR FLOODPLAIN ELEV.=661.00

LEGEND:

UTILITIES	EXISTING	PROPOSED
COMMUNICATIONS	(CD)	CO
OVERHEAD LINE	(DHO)	OH
ELECTRIC	(ED)	E
FIBER OPTIC	(FD)	FO
GAS	(G)	G
SANITARY SEWER	(SS)	SS
STORM	(ST)	ST
SUBDRAIN	(SD)	SD
WATER: DOMESTIC	(W)	W
WATER: WELL	(WELL)	WELL
CHILLED WATER: SUPPLY	(CHWS)	CHWS
CHILLED WATER: RETURN	(CHWR)	CHWR
CONDENSATE	(CND)	CND
STEAM: HIGH PRESSURE	(HPS)	HPS
STEAM: LOW PRESSURE	(LPS)	LPS
COMMUNICATIONS HANDHOLE	(CDH)	COH
COMMUNICATIONS PEDESTAL	(CDP)	COH
COMMUNICATIONS MANHOLE	(CDM)	COM
GUY WIRE ANCHOR	(GWA)	GWA
UTILITY POLE	(UP)	UP
UTILITY POLE WITH LIGHT	(UPL)	UPL
LIGHT POLE	(LP)	LP
ELECTRIC MANHOLE	(EMH)	EMH
ELECTRIC TRANSFORMER	(ET)	ET
TRAFFIC HANDHOLE	(THH)	THH
TRAFFIC MANHOLE	(TMH)	TMH
FIBER OPTIC HANDHOLE	(FOH)	FOH
FIBER OPTIC MANHOLE	(FOMH)	FOMH
GAS MANHOLE	(GMH)	GMH
GAS VALVE	(GV)	GV
SANITARY SEWER MANHOLE	(SSMH)	SSMH
SANITARY SEWER CLEANOUT	(SSCO)	SSCO
STORM SEWER MANHOLE	(SSMH)	SSMH
STORM SEWER INTAKE	(SSI)	SSI
HYDRANT	(H)	H
WATER VALVE	(WV)	WV
CURB STOP	(CS)	CS
WATER MANHOLE	(WMH)	WMH
POST INDICATOR VALVE	(PIV)	PIV

SITE	EXISTING	PROPOSED
CONTOUR - INDEX	100	100
CONTOUR - INTERMEDIATE	101	101
FENCE: BARB WIRE	(BWB)	(BWB)
FENCE: CHAIN LINK	(CL)	(CL)
FENCE: CONSTRUCTION	(CON)	(CON)
FENCE: VINYL	(VIN)	(VIN)
FENCE: WIRE	(W)	(W)
FENCE: WOOD	(W)	(W)
TREE LINE	(TL)	(TL)
DELINEATED WETLAND	(DW)	(DW)
100-YEAR FLOODPLAIN	(100)	(100)
500-YEAR FLOODPLAIN	(500)	(500)
STREAM CENTERLINE	(SC)	(SC)
BOLLARD	(B)	(B)
FLAG POLE	(FP)	(FP)
LANDSCAPE LIGHT	(LL)	(LL)
SHRUBBERY	(S)	(S)
TREE: DECIDUOUS	(D)	(D)
TREE: CONIFEROUS	(C)	(C)
MAIL BOX	(MB)	(MB)
POST	(P)	(P)
SIGN	(S)	(S)
PARKING METER	(PM)	(PM)
FIRE DEPARTMENT CONNECTION	(FDC)	(FDC)
WATER METER	(WM)	(WM)
HOSE BIB	(HB)	(HB)
YARD HYDRANT	(YH)	(YH)
DRINKING FOUNTAIN	(DF)	(DF)
MONITORING WELL	(MW)	(MW)



**GLENBROOK RIDGE
SENIOR LIVING**
DEVILS GLEN ROAD & FIELD SIKE ROAD
BETTENDORF, IA

SHEET TITLE
SITE PLAN

PROJECT NUMBER: 19039
SHEET NUMBER:

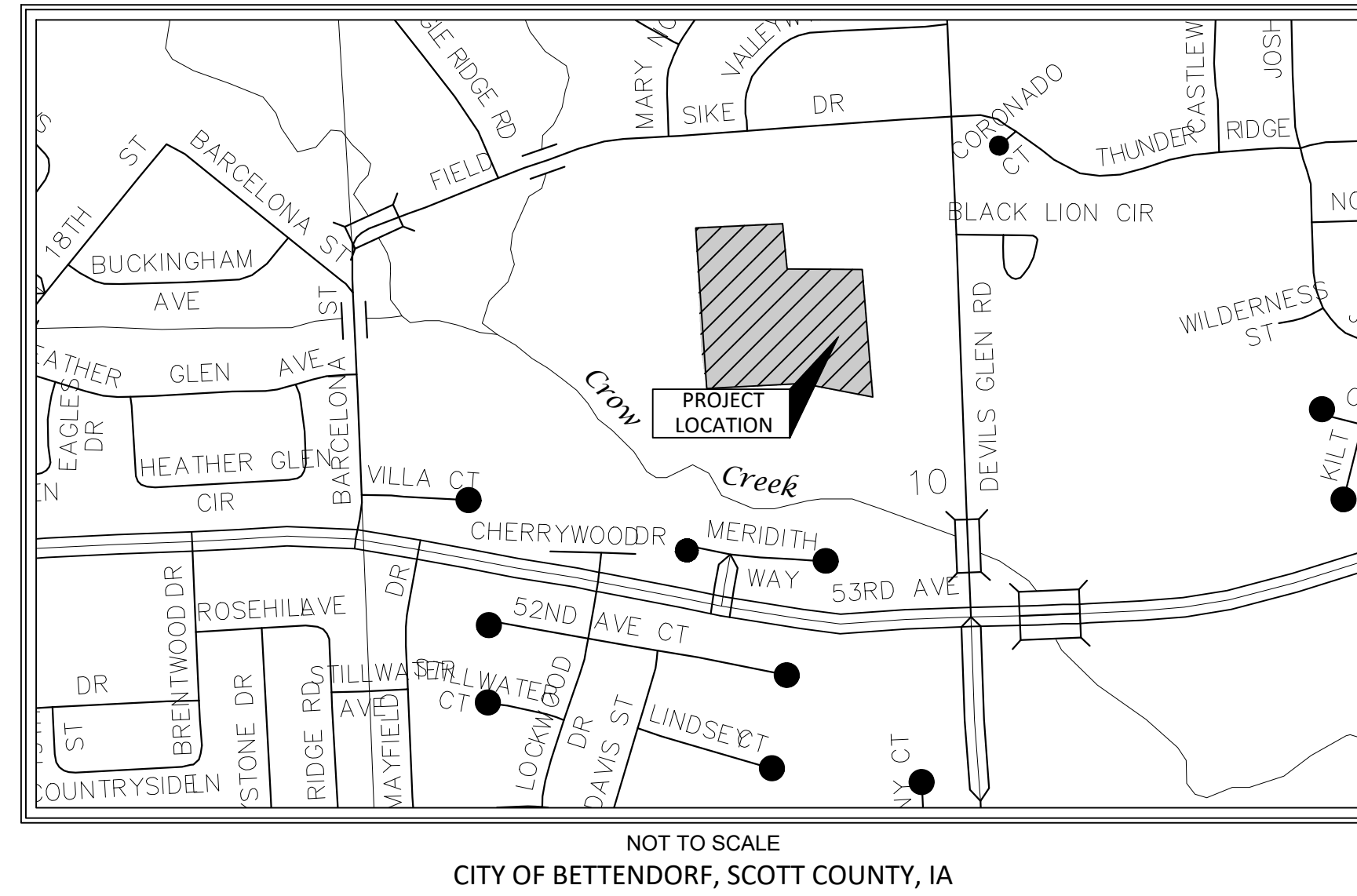
C-200

**SITE PLAN FOR GLENBROOK RIDGE SENIOR LIVING
IN THE CITY OF BETTENDORF
SCOTT COUNTY, IOWA**

SITE INFORMATION

PROPERTY LOCATION	WEST END OF GLENBROOK CIRCLE SOUTH		
REQUIRED PARKING	WEST BUILDING: 1.5 SPACES PER INDEPENDENT LIVING UNIT - 1.5 X 32 = 48 REQUIRED STALLS ½ SPACE PER ASSISTED LIVING UNIT - ½ X 56 UNITS = 28 REQUIRED STALLS ½ SPACE PER NURSING/CONVALESCENT BED PLUS 1 SPACE PER EMPLOYEE = 38 REQUIRED STALLS ½ X 32 BED + 30 MC EMPLOYEES (EST.)		
	EAST BUILDING: 1.5 SPACES PER INDEPENDENT LIVING UNIT - 1.5 X 111 UNITS = 167 REQUIRED STALLS 281 TOTAL REQUIRED PARKING STALLS		
PROPOSED PARKING	181 SURFACE "OFF-STREET" STALLS WITH 10 ADA STALLS 15 ON-STREET PARKING STALLS 106 UNDERGROUND STALLS 302 TOTAL PROVIDED PARKING STALLS		
EXISTING SITE	495,671 SF	11.38 AC	(100%)
BUILDING AREA =	0 SF	0 AC	(0%)
PAVEMENT =	0 SF	0 AC	(0%)
OPEN SPACE =	495,671 SF	11.38 AC	(100%)
PROPOSED SITE*	495,671 SF	11.38 AC	(100%)
BUILDING AREA (WEST)=	66,405 SF	1.52 AC	(13.4%)
BUILDING AREA (EAST)**=	45,078 SF	1.04 AC	(9.1%)
PAVEMENT =	144,150 SF	3.31 AC	(29.1%)
OPEN SPACE =	240,038 SF	5.51 AC	(28.3%)
*DOES NOT INCLUDE AREA WITHIN PRIVATE STREET ROW. **INCLUDES LOT 2 AND OUTLOT F.			
ZONING	URBAN MEDIUM INTENSITY (UMI)		
FEMA FLOODWAY INFORMATION	MAP NUMBER 19163C0378F EFFECTIVE MARCH 23, 2021 WEST BUILDING 100-YR FLOODPLAIN ELEVATION = 661.00 WEST BUILDING 500-YR FLOODPLAIN ELEVATION = 662.50 EAST BUILDING 100-YR FLOODPLAIN ELEVATION = 660.80 EAST BUILDING 500-YR FLOODPLAIN ELEVATION = 662.00		
YARD SETBACKS	FRONT: 25 FT SIDE: 5 FT MIN; ONE SIDE=10; TOTAL=15 MIN. 15 REAR: 25 FT		
PROPOSED USE	RETIREMENT RESIDENCE		
BUILDING TYPE PER 2015 IBC:	TYPE V-A PER 2015 IBC, BUILDING WILL BE FIRE SPRINKLED		
OCCUPANCY TYPE PER 2015 IBC:	WEST BUILDING: I-1 CONDITION 2 EAST BUILDING: R-2 WITH ACCESSORY A-2/B		
FLOOR AREA	WEST BUILDING	EAST BUILDING	
TOTAL FLOOR AREA:	138,853 SF	126,200 SF***	
BASEMENT (PARKING):	0 SF	38,914 SF***	
FIRST FLOOR	67,506 SF	42,400 SF	
SECOND FLOOR	36,108 SF	41,988 SF	
THIRD FLOOR	35,239 SF	41,856 SF	
***TOTAL FLOOR AREA DOES NOT INCLUDE BASEMENT. BASEMENT IS NOT INCLUDED IN F.A.R. CALCULATION.			
F.A.R.: (126,000+138,853)/475,151 = 0.56 (LOT 1 AND LOT 2) - MAXIMUM 0.70 ALLOWED			

PROJECT VICINITY MAP CITY OF BETTENDORF



NOT TO SCALE
CITY OF BETTENDORF, SCOTT COUNTY, IA

THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH THE CITY OF BETTENDORF DESIGN STANDARDS. NO DESIGN VARIANCES REQUESTED.

LEGAL DESCRIPTION:
A REPLAT OF LOTS 2, 3, 6, 7, 13, 16, 17 AND OUTLOT C, OUTLOT E, DETENTION OUTLOT 3, DETENTION OUTLOT 4, AND DETENTION OUTLOT 5 OF GLENBROOK RIDGE SECOND ADDITION AS RECORDED IN FILE 2019-00011022 AND 2019-00017182 IN THE SCOTT COUNTY RECORDER'S OFFICE.

UTILITY & EMERGENCY CONTACTS

THE FOLLOWING UTILITY COMPANIES MAY HAVE FACILITIES IN PROXIMITY TO THE PROJECT:	
MIDAMERICAN ENERGY CONTACT: DIANNE HIRL PHONE: 309/793-3645 EMAIL: DHIRL@MIDAMERICAN.COM	CENTURYLINK CONTACT: TOM STURMER PHONE: 720/578-8090 EMAIL: THOMAS.STURMER@CENTURYLINK.COM
GENESECO COMMUNICATIONS CONTACT: ROGER GRANELL PHONE: 309/944-8025 EMAIL: ROGER.GRANELL@GENESECO.COM	MAGELLAN MIDSTREAM PARTNERS CONTACT: DYLAN GILLEAN PHONE: 918/574-7098 WILCALL2@MAGELLANLP.COM
IOWA AMERICAN WATER COMPANY CONTACT: JULIE ALLENDER PHONE: 563/468-9222 EMAIL: JULIE.ALLENDER@AMWATER.COM	

CITY CONTACTS

CITY OF BETTENDORF	
PUBLIC WORKS	4403 DEVILS GLEN RD BETTENDORF, IA 52722 563/344-4088
CITY ENGINEER	BRENT MORLOK 4403 DEVILS GLEN RD BETTENDORF, IA 52722 563/344-4063 BMORLOK@BETTENDORF.ORG

INDEX OF SHEETS	
C0.00	COVER SHEET
C1.00	EXISTING TOPOGRAPHIC SURVEY AND DEMOLITION PLAN
C2.00	SITE PLAN
C3.00	EROSION CONTROL & GRADING PLAN
C3.10	MC & AL DINING PATIO ENLARGEMENTS
C3.20	AL COURTYARD ENLARGEMENT
C4.00	OVERALL UTILITY PLAN
C4.10	SANITARY SEWER PLAN & PROFILE SHEET 1 OF 2
C4.20	SANITARY SEWER PLAN & PROFILE SHEET 2 OF 2
C5.00	PAVEMENT PLAN
C6.00	DETENTION BASIN PLAN
C7.00	GLENBROOK CIRCLE SOUTH PAVING & STORM SEWER PLAN & PROFILE
C9.00	CONSTRUCTION DETAILS

CITY APPROVAL

BY: _____ DATE: _____

CITY'S ENGINEER'S RECOMMENDATION

BY: _____ DATE: _____

OWNER/APPLICANT: NELSON CONSTRUCTION & DEVELOPMENT C/O JACOB WOLFGANG 218 6TH AVENUE, SUITE 200 DES MOINES, IA 50309 515-720-6170 JACOB@NELSONCONST.COM	PREPARED BY: AXIOM CONSULTANTS, LLC C/O NICK BETTIS, P.E. 60 E. COURT STREET, UNIT 3 IOWA CITY, IOWA 52240 319-519-6220 NBETTIS@AXIOM-CON.COM
--	--

	I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.
	NICHOLAS J. BETTIS, P.E. 17780 DATE: 4/13/2020 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2019. PAGES OR SHEETS COVERED BY THIS SEAL: ALL C-SHEETS



**GLENBROOK RIDGE
SENIOR LIVING**
DEVILS GLEN ROAD & FIELD SIKE ROAD
BETTENDORF, IA

SHEET TITLE
COVER SHEET

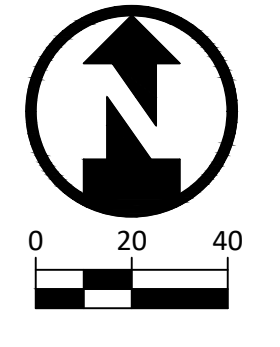
PROJECT NUMBER: 19-0078

SHEET NUMBER:

C0.00

DRAWN BY: Author CHECKED BY: Checker

**REVISED SITE PLAN WITH BOTH BUILDINGS
SEE ALSO PLANS FOR QUARTET INDEPENDENT LIVING**

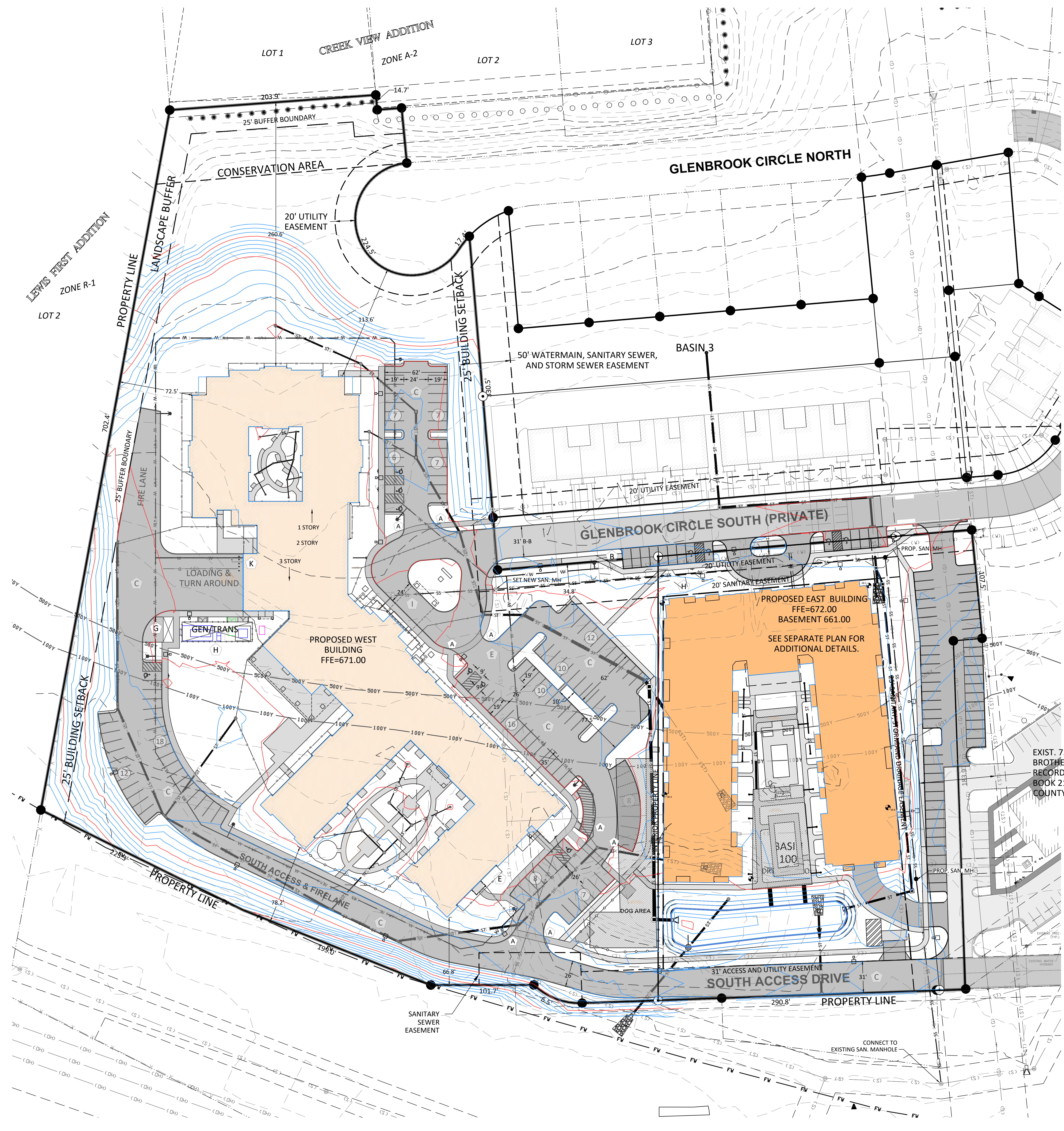


SITE PLAN KEYNOTES

- A ADA CURB RAMP WITH TRUNCATED DOME. REFER TO SUDAS DETAIL 7030.206
- B PROPOSED 4" CONCRETE WALK.
- C PROPOSED CONCRETE PAVEMENT.
- D PROPOSED STORM WATER MANAGEMENT AREA
- E REMOVE EXISTING SANITARY SEWER AND SERVICE LINE - SEE SHEET C100
- F REMOVE EXISTING STORM PIPE - SEE SHEET C100
- G REFUSE AND RECYCLING ENCLOSURE
- H RELOCATED PUBLIC SANITARY SEWER
- I COVERED DROPOFF
- J ADA STALLS
- K INSTALL BOLLARDS TO PROTECT GAS METER AND POST INDICATOR VALVE. SEE DETAIL 7, AS-101.

SITE PLAN NOTES

1. ALL PROPOSED WATERMAIN IS TO BE 8" PVC C900.
2. ALL PROPOSED SANITARY SEWER IS TO BE 8" PVC TRUSS.
3. CONNECT DOWNSPOUTS TO STORM SEWER.
4. 100-YR FLOODPLAIN ELEV.=661.00 - WEST BUILDING
 500-YR FLOODPLAIN ELEV.=662.50 - WEST BUILDING
 100-YR FLOODPLAIN ELEV.=660.80 - EAST BUILDING
 500-YR FLOODPLAIN ELEV.=662.00 - EAST BUILDING



LEGEND:

UTILITIES	EXISTING	PROPOSED
COMMUNICATIONS	(CD)	CO
OVERHEAD LINE	(OH)	OH
ELECTRIC	(E)	E
FIBER OPTIC	(FD)	FO
GAS	(G)	G
SANITARY SEWER	(SS)	SS
STORM	(ST)	ST
SUBDRAIN	(SD)	SD
WATER: DOMESTIC	(W)	W
WATER: WELL	(WELL)	WELL
CHILLED WATER: SUPPLY	(CHWS)	CHWS
CHILLED WATER: RETURN	(CHWR)	CHWR
CONDENSATE	(CND)	CND
STEAM: HIGH PRESSURE	(HPS)	HPS
STEAM: LOW PRESSURE	(LPS)	LPS
COMMUNICATIONS HANDHOLE	(CCH)	(CCH)
COMMUNICATIONS PEDESTAL	(CPE)	(CPE)
COMMUNICATIONS MANHOLE	(CMA)	(CMA)
GUY WIRE ANCHOR	(GWA)	(GWA)
UTILITY POLE	(UP)	(UP)
UTILITY POLE WITH LIGHT	(UPL)	(UPL)
LIGHT POLE	(LP)	(LP)
ELECTRIC MANHOLE	(EMH)	(EMH)
ELECTRIC TRANSFORMER	(ET)	(ET)
TRAFFIC HANDHOLE	(TH)	(TH)
TRAFFIC MANHOLE	(TMH)	(TMH)
FIBER OPTIC HANDHOLE	(FOH)	(FOH)
FIBER OPTIC MANHOLE	(FOMH)	(FOMH)
GAS MANHOLE	(GMH)	(GMH)
GAS VALVE	(GV)	(GV)
SANITARY SEWER MANHOLE	(SSMH)	(SSMH)
SANITARY SEWER CLEANOUT	(SSCO)	(SSCO)
STORM SEWER MANHOLE	(SSMH)	(SSMH)
STORM SEWER INTAKE	(SSI)	(SSI)
HYDRANT	(H)	(H)
WATER VALVE	(WV)	(WV)
CURB STOP	(CS)	(CS)
WATER MANHOLE	(WMH)	(WMH)
POST INDICATOR VALVE	(PIV)	(PIV)

SITE	EXISTING	PROPOSED
CONTOUR - INDEX	100	100
CONTOUR - INTERMEDIATE	101	101
FENCE: BARB WIRE	(BWB)	(BWB)
FENCE: CHAIN LINK	(CL)	(CL)
FENCE: CONSTRUCTION	(CON)	(CON)
FENCE: VINYL	(V)	(V)
FENCE: WIRE	(W)	(W)
FENCE: WOOD	(WO)	(WO)
TREE LINE	(TL)	(TL)
DELINEATED WETLAND	(W)	(W)
100-YEAR FLOODPLAIN	(100)	(100)
500-YEAR FLOODPLAIN	(500)	(500)
STREAM CENTERLINE	(SC)	(SC)
BOLLARD	(B)	(B)
FLAG POLE	(FP)	(FP)
LANDSCAPE LIGHT	(LL)	(LL)
SHRUBBERY	(S)	(S)
TREE: DECIDUOUS	(D)	(D)
TREE: CONIFEROUS	(C)	(C)
MAIL BOX	(M)	(M)
POST	(P)	(P)
SIGN	(S)	(S)
PARKING METER	(PM)	(PM)
FIRE DEPARTMENT CONNECTION	(FDC)	(FDC)
WATER METER	(WM)	(WM)
HOSE BIB	(HB)	(HB)
YARD HYDRANT	(YH)	(YH)
DRINKING FOUNTAIN	(DF)	(DF)
MONITORING WELL	(MW)	(MW)
WELL	(W)	(W)



**GLENBROOK RIDGE
 SENIOR LIVING**
 DEVILS GLEN ROAD & FIELD SIKE ROAD
 BETTENDORF, IA

SHEET TITLE
 SITE PLAN

PROJECT NUMBER: 19-0078
 SHEET NUMBER:

C2.00



CIVIL · STRUCTURAL · MECHANICAL · ELECTRICAL · SURVEY · SPECIALTY

City of Bettendorf
 Community Development Department
 4403 Devils Glen Road
 Bettendorf, Iowa 52772
 563-344-4100

January 25, 2023

Case No. 22-097
 Request: Major Change to an existing Site Development Plan (SDP) Location: 3150
 Glenbrook Circle South and adjacent properties

Please consider this the Applicant's response to the Staff Report provided by Mark Hunt, dated December 21, 2022. We have tried to address each of the concerns based on the 3 Step process as described and commented on in the Staff Report. Those three Steps being the following:

1. Analyze Permitted Uses and Intensity,
2. Analyze Location and Design,
3. Analyze Compatibility.

The Applicant's justification is provided below in bold RED to delineate between the comment made and response.

Analysis of Permitted Uses and Intensity (Step 1)

The land uses currently in place at the Quartet are permitted in the Glenbrook Ridge UMI DCA. Strictly speaking, no new uses are being contemplated as part of the Major Change to the Quartet SDP; however, should this Major Change be approved, the petitioner is proposing a significant reduction in open space both in the existing Quartet SDP and the Glenbrook Ridge DCA overall.

The proposed reduction in open space changes the intensity of use at the Quartet site. Instead of having 120 units on an 11.38 acre site, the Major Change would result in 120 units on 8.3 acres. Thus, the dwelling units per acre would increase from 10.54 units to 14.46. This change represents a 37% increase in the total dwelling units per acre at the existing Quartet development.

UMI DCAs are allowed 17 units per acre under the City's zoning ordinance. While the proposed change does significantly increase the dwelling units per acre at the Quartet site, it does not surpass what is allowed.

This increase represents only the impact of removing the open space from the Quartet site. An official analysis has not been completed on any future development on these lots.

AS NOTED, THE REVISED SITE PLAN STILL MEETS CITY CODE AS IT RELATES TO DENSITY AND UNITS PER ACRE FOR THE UMI DCA USE.

Analysis of Location and Design (Step 2)

Table A-1-3D2 of the City's zoning ordinance provides a checklist of criteria to be considered in this step. The checklist and staff's response to each criterion is provided below.

FRONTAGE

Project frontage along a street should be similar to lot width. The approved Quartet SDP shows

approximately 486 feet of frontage along Glenbrook Circle South matched to a lot width of roughly 486 feet. The proposed Major Change to the Quartet SDP reduces the frontage along Glenbrook Circle South to approximately 165 feet, while the lot width remains 486 feet. The proposed Major Change does not meet this criterion.

THIS IS SIMILAR TO A CUL DE SAC SITUATION BEING THAT THE SITE IS LOCATED AT THE END OF A PRIVATE STREET. IT SHALL BE NOTED THAT THE SITE DOES HAVE THROUGH ACCESS TO ANOTHER PRIVATE STREET TO THE SOUTH AS WELL SO THERE IS CONTINUITY AND CONNECTION. THIS LOT ALSO CONNECTS TO THE NORTH AND HAS FRONTAGE ALONG GLENBROOK CIRCLE NORTH R.O.W. THAT COULD BE ACCCOUNTED FOR.

THIS IS A "SHOULD" CONDITION AND OPEN TO INTERPRETATION, AND FEEL WAS ESTABLISHED MORE FOR THE PURPOSE TO AVOID THE PLATTING OF FLAG LOTS, WHICH THIS IS NOT.

PARKING AND INTERNAL CIRCULATION

Parking should serve all structures with minimal conflicts between pedestrians and vehicles. The proposed Major Change does not appear to impact the parking and pedestrian flow of the approved site development plan.

All structures must be accessible to public safety vehicles. The proposed Major Change does not appear to impact the accessibility of emergency vehicles as shown on the approved SDP.

Development must have access to adjacent public streets and ways. Internal circulation should minimize conflicts and congestion at public access points. The proposed Major Change does not appear to impact access to adjacent public streets and ways, nor does it interfere with internal circulation.

NO ISSUES WITH CODE

LANDSCAPING

Landscaping should be integral to the development, providing street landscaping, breaks in uninterrupted paved areas, and buffering where required by surrounding land uses. Parts of sites with sensitive environmental features or natural drainageways should be preserved.

Staff contends the open space/drainage area is integral the Quartet's SDP and the Glenbrook Ridge DCA. The proposed Major Change appears to eliminate multiple trees from the Landscape Plan originally approved with the SDP. It also appears to remove buffering/transitioning, between the Quartet and the nearby townhomes and apartments. Changes to the existing drainage pattern would occur. The proposed Major Change does not meet this criterion.

AS NOTED, THE REMOVAL OF THE OPEN SPACE/DRAINAGE AREA DID INCLUDE ASSOCIATED LANDSCAPING PER THE ORIGINAL PLAN, WHICH WOULD NO LONGER BE VALID. HOWEVER, THIS LANDSCAPING WOULD BE ACCOMMODATED FOR WITH FUTURE PROPOSED SITE PLAN WITHIN THIS SAME BOUNDARY AND BE REQUIRED TO MEET ALL LANDSCAPING REQUIREMENTS PER CODE AT THE TIME OF SUCH SITE PLAN APPLICATION. IN ADDITION, THE APPLICANT INTENDS AND PROPOSES TO GO ABOVE AND BEYOND BY ADDING ADDITIONAL LANDSCAPING AND OUTDOOR PUBLIC AMENITIES TO THE SOUTH VIA TRAILS AND A PARK. SEE ATTACHED PROPOSED MASTER PLAN WHICH DEPICTS SUCH INTENTIONS.

Other.

The ability of the developer to provide the dog park as shown and required under the current

SDP is severely limited by the proposed Major Change. Staff finds this to have a negative impact on the proposed Major Change.

THE DOG PARK WILL STILL REMAIIIN AS EXISTING AND IS NOT INTENDED TO BE IMPACTED OR LIMITED.

The drainage area's pond and open space was a major focal point of the landscape aesthetic of the approved SDP. Removing this from the landscape has a significant impact to the look and feel of the built environment within the Glenbrook Ridge DCA. Staff finds this to have a negative impact on the proposed Major Change.

THIS DRAINAGE AREA WAS NOT A WET POND (RETENTION BASIN) BUT RATHER A DRY BASIN (DETENTION BASIN) WITH LITTLE TO NO VISUAL AESTHETICS OR APPEAL OTHER THAN AN OPEN GRASS AREA. A FULL LANDSCAPING PLAN WILL BE PART OF AND PROVIDED WITH THE FUTURE SITE PLAN FOR THE PROPOSED BUILDING, WITH FOCUS ON AESTHETICS AND FRONT FAÇADE APPEAL.

BUILDING DESIGN

Architectural design and building materials should be compatible with surrounding areas or highly visible locations.

The proposed Major Change does not appear to impact the architectural design of the existing SDP.

NO CHANGE MADE REGARDING ARCHITECTURAL, AND STILL MEETS THAT ORIGINALLY APPROVED AS NOTED.

TRAFFIC CAPACITY

Project should not obstruct traffic on adjacent streets. Compensating improvements will be required to mitigate impact on street system operations. The proposed Major Change does not appear to violate this criterion.

Larger commercial or office use areas should begin on or near arterial and collector streets.

The proposed Major Change does not appear to violate this criterion.

NO ISSUES WITH CODE

Smaller commercial uses areas may be appropriate to begin on or near collector and local streets.

The proposed Major Change does not appear to violate this criterion.

NO ISSUES WITH CODE

EXTERNAL TRAFFIC EFFECTS

Project design should attempt to direct non-residential traffic away from residential areas.

The proposed Major Change does not appear to violate this criterion.

NO ISSUES WITH CODE

OPERATING HOURS

Projects with long operating hours must minimize effects on surrounding residential areas.

The proposed Major Change does not appear to violate this criterion.

NO ISSUES WITH CODE

OUTSIDE STORAGE

Outside storage areas must be screened from surrounding streets and less intensive land uses. The proposed Major Change does not appear to violate this criterion.

NO ISSUES WITH CODE

SANITARY WASTE DISPOSAL

Developments within 300 feet of a public sanitary sewer must connect to sewer system. Individual disposal systems, if permitted, shall not adversely affect public health, safety, or welfare.

The proposed Major Change does not appear to violate this criterion.

NO ISSUES WITH CODE

Sanitary sewer must have adequate capacity to serve development. The proposed Major Change does not appear to violate this criterion.

NO ISSUES WITH CODE

STORM WATER MANAGEMENT

Development should handle storm water adequately to prevent overloading of public storm water management system. The proposed Major Change appears to indicate modifications to the stormwater management system for the Quartet, but a formal analysis of any changes to that system are premature at this time.

Storm water runoff should not inhibit development of other properties. See above.

Development should not increase probability of erosion, flooding, landslides, or other runoff-related effects.

SO NOTED AND ALL STORM WATER MANAGEMENT REQUIREMENTS MUST AND WILL BE MET AND ADDRESSED WITH THE FUTURE SITE PLAN APPLICATION PROCESS FOR THE PROPOSED BUILDING.

Compatibility (Step 3)

With this step of the analysis, the Code requires staff to consider if the proposed Major Change to the Quartet's SDP is compatible with the neighboring land uses. More specifically, what are the externalities of removing the 3.08-acre drainage area/open space from the Quartet's approved SDP and the Glenbrook Ridge UMI DCA.

Table A-1-3E1 of the City's zoning ordinance provides general guidance on addressing compatibility in the different DCAs. For UMI DCA's the code states:

Different types of land use are positioned to create a smooth internal transition from lower to higher intensity uses; however, this transition happens over a shorter distance than within the ULI designation.

Removing the open space/drainage from the Quartet's SDP and replacing it with development will reduce the internal transitioning and buffering between uses within the Glenbrook Ridge UMI DCA. The exact extent of this reduction is dependent upon the amount of development that occurs on the open space/drainage area. Staff contends that the open space/drainage area provides an important transitional buffer between the existing townhomes to north and the apartments to the east. The more this transitional buffer is eroded, the less supportive staff would be of the change.

One way to gauge what might be allowable under City code as a tradeoff for the loss of open space/drainage area is to look at the zoning code's guidance for the desirable housing mix in a UMI DCA. Table 11-8-3-C of City Code lists the desirable housing mix in a UMI DCA as 30-50% single-family detached; 20-25% attached dwellings; and 20-35% multi-family dwellings.

The current housing mix in the Glenbrook Ridge UMI DCA is 83% multi-family, 10% attached dwellings, and 7% single family. Considering this imbalance relative to the desired percentages, staff would recommend the applicant look at options such as single-family homes or townhomes that would help bring the DCA closer to the desired balance and be compatible with the surrounding land uses.

THE PREVIOUSLY APPROVED DCA DEPICTS MULTIPLE MULTI-FAMILY AND MULTI-STORY BUILDINGS WITHIN THE OPEN SPACE/DRAINAGE AREA NOTED. ALL OF WHICH INCLUDED SURFACE PARKING AND SIGNIFICANT IMPERVIOUS AREA. THE PROPOSED FUTURE BUILDING INTENDED TO BE BUILT WITHIN THIS SAME SPACE IS CONFINED WITHIN ONE BUILDING AND INCLUDES PARKING WITHIN THE BUILDING TO ALLOW FOR AESTHETIC AMENITIES, LANDSCAPING, AND STORMWATER MANAGEMENT.

THE HOUSING MIX DESCRIBED HAS NOT CHANGED IN ANY SIGNIFICANT FASHION WITH THE REVISED SITE PLAN WHICH THIS APPLICATION AND CASE DIRECTLY RELATES AS THE REVISED SITE PLAN REDUCES OPEN SPACE/DRAINAGE AND NOT HOUSING. THE PROPOSED HOUSING, TO BE ADDRESSED IN A FUTURE SITE PLAN APPLICATION, WILL INCLUDE INDEPENDENT LIVING UNITS. THIS INDEPENDENT LIVING HAS BEEN DETERMINED TO BE A MUCH NEEDED HOUSING TYPE WITHIN THIS AREA PER MARKET STUDIES AND ANALYSIS, AND PROVIDE THE CITY OF BETTENDORF AN ADDITIONAL RESIDENTIAL USER AVAILABLE UNITS. WHEN LOOKING AT THE OVERALL DCA PLAN, THIS WOULD SIMPLY REPLACE WHAT ORIGINALLY WAS DESIGNATED FOR MULTI-FAMILY (APARTMENT UNITS) AND THEREFORE, WE FEEL PROVIDES A MORE DIVERSE MIX AND BENEFIT TO THE DEVELOPMENT AS A WHOLE.

Staff Recommendation

Staff recommends denial of the proposed Major Change to the Quartet's existing SDP. Allowing such a change would not align with the location and design criteria specified in City Code. The Major Change appears to conflict with required improvements such as the dog park and landscaping required under the existing SDP. The change would also present significant compatibility issues and potentially worsen an imbalance in the desired housing mix for the Glenbrook Ridge UMI DCA.

AS DESCRIBED ABOVE, WE FEEL THAT THE PROPOSED MAJOR CHANGE TO THE QUARTET'S EXISTING SDP CONTINUES TO MEET CITY CODE IN ALL ASPECTS OF ANALYSIS. THOUGH CONCERNS MAY REMAIN FROM THE CITY AS IT RELATES TO A FUTURE SITE PLAN WITHIN THE EXISTING OPEN SPACE/DRAINAGE AREA, THESE DETAILS CAN AND WILL BE ADDRESSED THROUGH THAT SITE PLAN APPLICATION PROCESS.



CIVIL · STRUCTURAL · MECHANICAL · ELECTRICAL · SURVEY · SPECIALTY

WE HAVE INCLUDED THE REVISED DCA MASTER PLAN, WHICH ACCURATELY DEPICTS WHAT IS CURRENTLY BUILT TODAY WITHIN THE GLENBROOK DEVELOPMENT. THIS CAN BE USED TO COMPARE THE PREVIOUSLY APPROVED DCA TO WHAT HAS BEEN APPROVED AND BUILT TO DATE. IN ADDITION, WE HAVE INCLUDED THE MOST CURRENT **“PROPOSED” MASTER PLAN THAT REPRESENTS WHAT IS INTENDED TO BE SUBMITTED IN TERMS** OF THE QUARTET IL BUILDING AS WELL AS PROPOSED PARK, TRAILS, AND OPEN SPACE AMENITIES.



STAFF REPORT

Subject: Planning & Zoning Commission
Author: Taylor Beswick
Department: Community Development
Date: May 17, 2023

Case No.: 23-038
Request: Wilderness Pointe Second Addition – Final Plat
Location: West of Criswell Street and east of Settlers Pointe Circle
Legal Description: (Parcel #: 841239008 & 841223003)
Applicant: Jared Kerkhoff – Wilderness Pointe, LLC
Current Zoning: R-1, Single Family Residence District
Future Land Use: ULI, Urban Low Intensity

Background Information & Facts

Jared Kerkhoff has submitted a proposal for a nine-lot subdivision named Wilderness Pointe Second Addition located on property west of Criswell Street and east of Settlers Pointe Circle (see Aerial Map – Attachment A). The proposed addition is located in the R-1, Single-Family Residence zoning district and is bordered by similar low-density, single-family zoning districts (see Zoning Map - Attachment B). The Future Land Use Map contemplates the developable area of the addition as Urban Low Intensity (ULI) and the western outlots as Parks and Open Space (PRKOS) (see Future Land Use Map - Attachment C). The proposed plat contains six large developable lots and three outlots (see Wilderness Pointe Second Addition Final Plat – Attachment D).

Future Land Use and Comprehensive Plan

The proposed single-family homes are in demand, and the land use designations of ULI and PRKOS are consistent with the character of the area and with the Comprehensive Plan.

Lot Configuration & Zoning Compliance

The plat shows six developable lots ranging in size from 0.82 acres (35,720 square feet) to 1.96 acres (85,378 square feet). Outlot A is designated as a sanitary sewer, storm sewer, drainage, and storm water detention easement. Ownership and maintenance of Outlot A is designated to the owner of Lot 1. Outlots B and C are designated as undevelopable, and each shall be owned and maintained by the owners of Lots 2 and 3, respectively. Lot 4 and Lot 5 contain a storm water and drainage easement and thus are sized accordingly to make up for the undevelopable land on each lot.

The bulk standards for setbacks, lot width, and lot size are met by the proposed plat.

Utilities

The site has access to City sanitary sewer and Iowa American water.

Thoroughfare Plan & Access

Dedicated street right-of-way is shown as a continuation of Oak Ridge Court which is proposed to terminate at a cul-de-sac in the addition. Upon dedication, the City will provide snow removal and street maintenance.

Pedestrian and Trail Access

Sidewalks will be constructed per the City's standards on both sides of Oak Ridge Court. This new network will connect to existing sidewalks in Wilderness Pointe First Addition.

Stormwater Detention

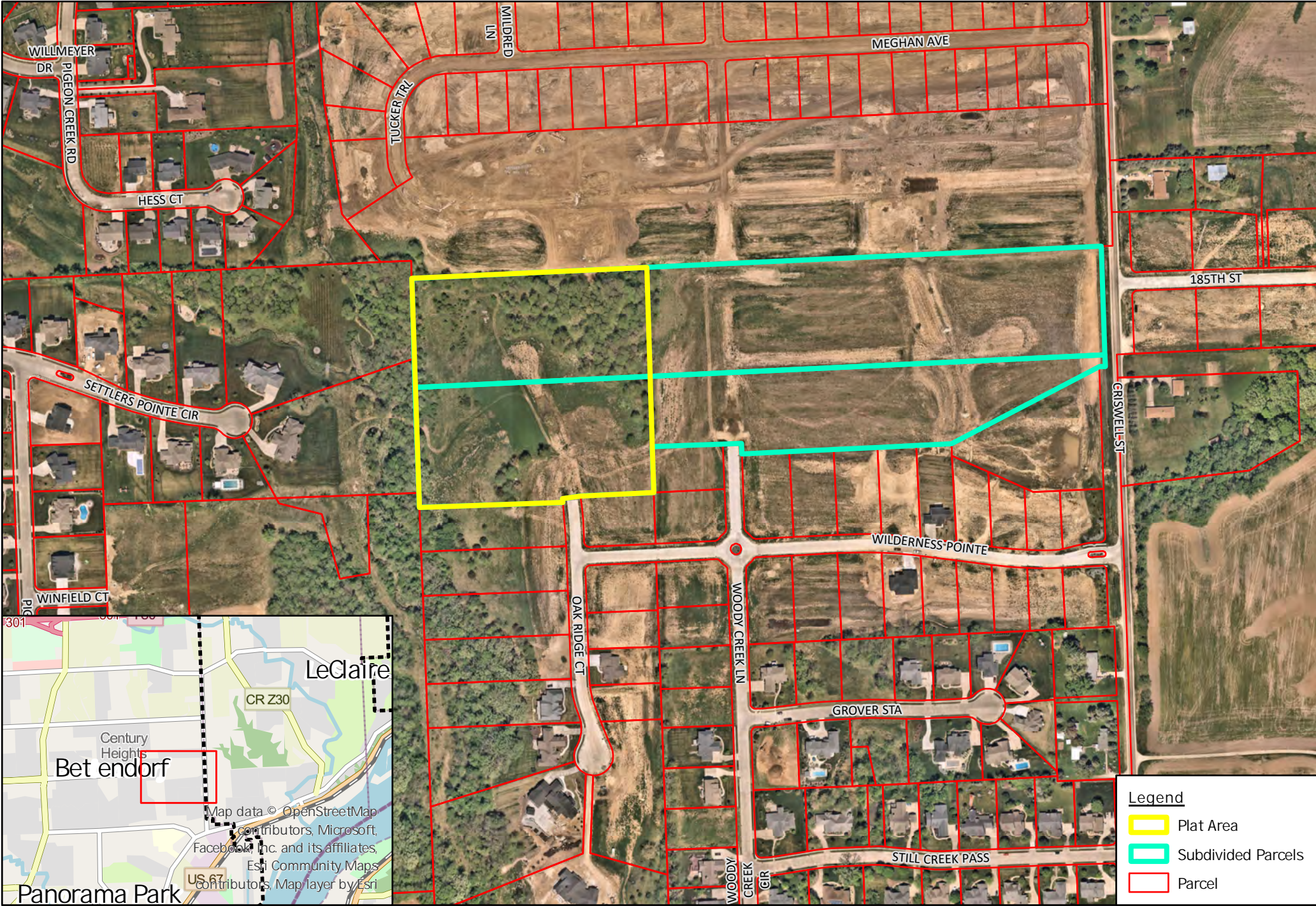
Outlot A is reserved for stormwater detention and is deemed to be sufficient for this proposed future development in the addition.

Staff Recommendation

Staff recommends approval of the final plat of Wilderness Pointe Second Addition.

Respectfully submitted,

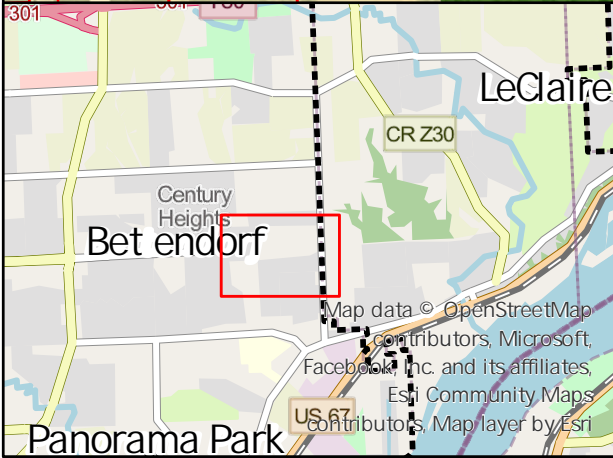
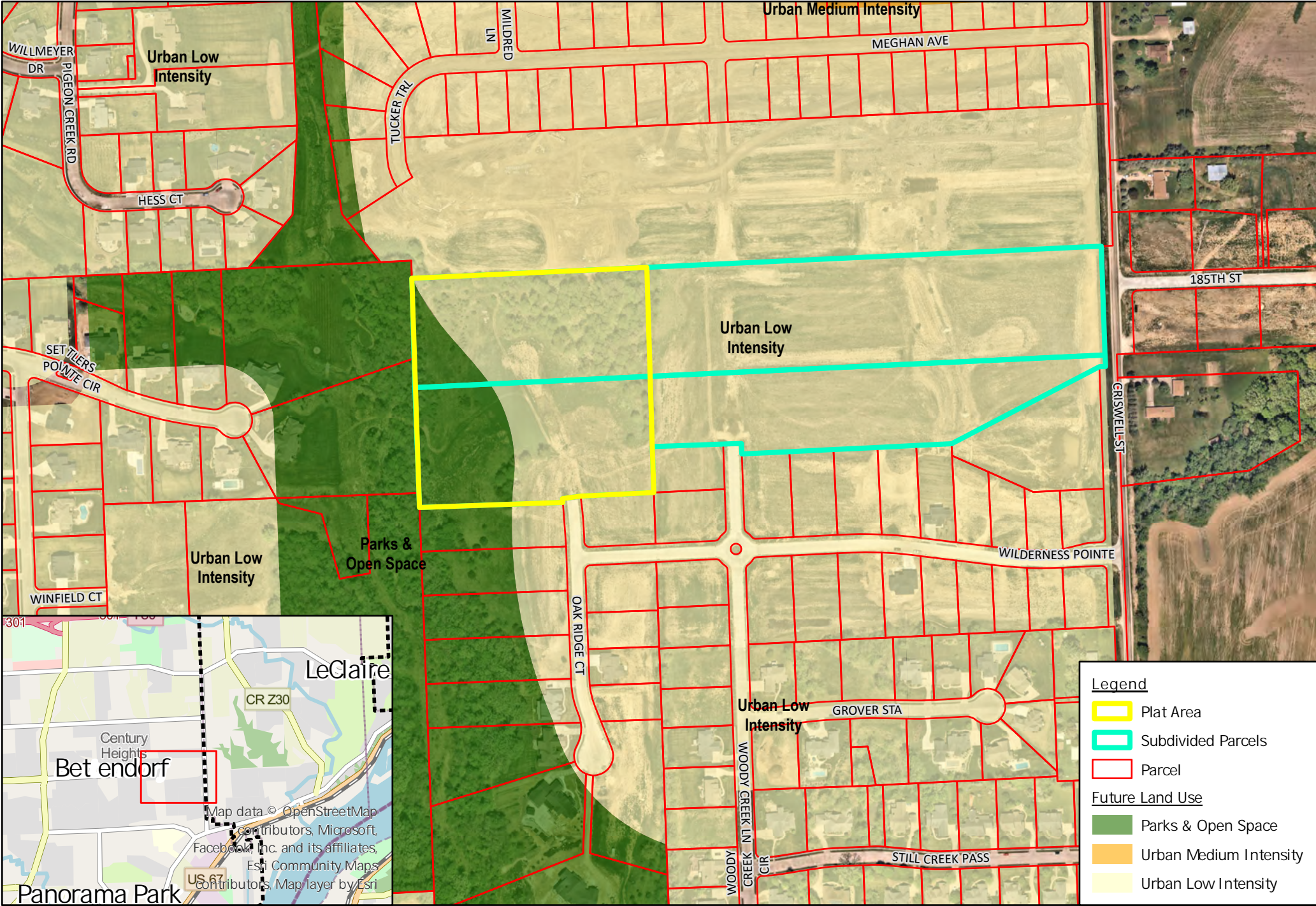
Taylor Beswick
City Planner



Legend

- Plat Area
- Subdivided Parcels
- Parcel

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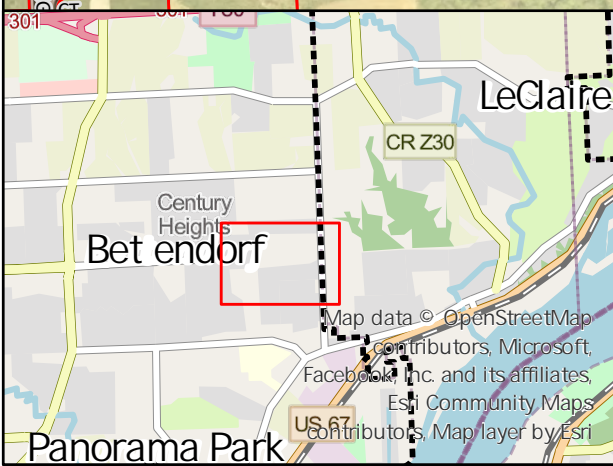
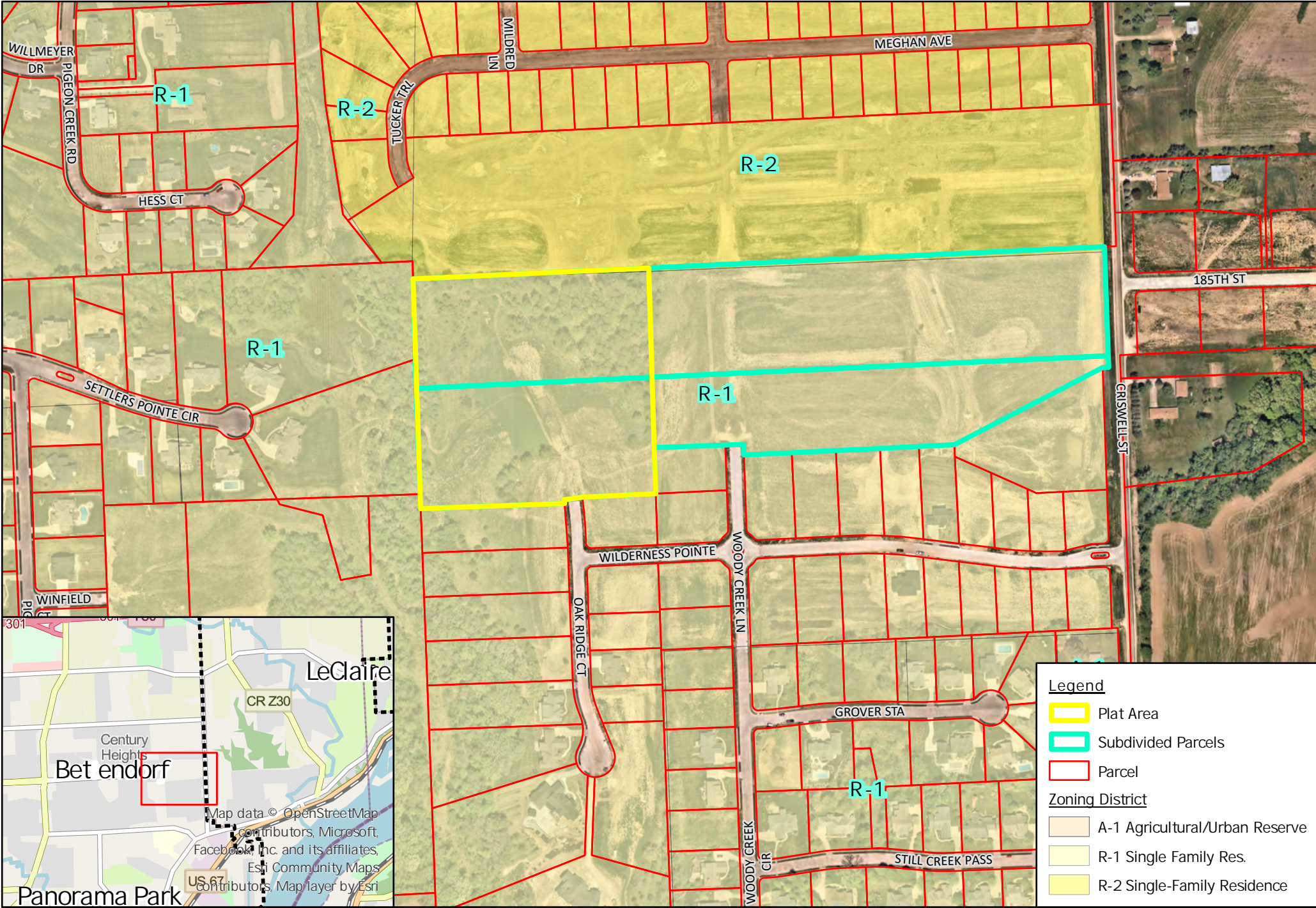


Legend

- Plat Area
- Subdivided Parcels
- Parcel

Future Land Use

- Parks & Open Space
- Urban Medium Intensity
- Urban Low Intensity



Legend

- Plat Area
- Subdivided Parcels
- Parcel

Zoning District

- A-1 Agricultural/Urban Reserve
- R-1 Single Family Res.
- R-2 Single-Family Residence

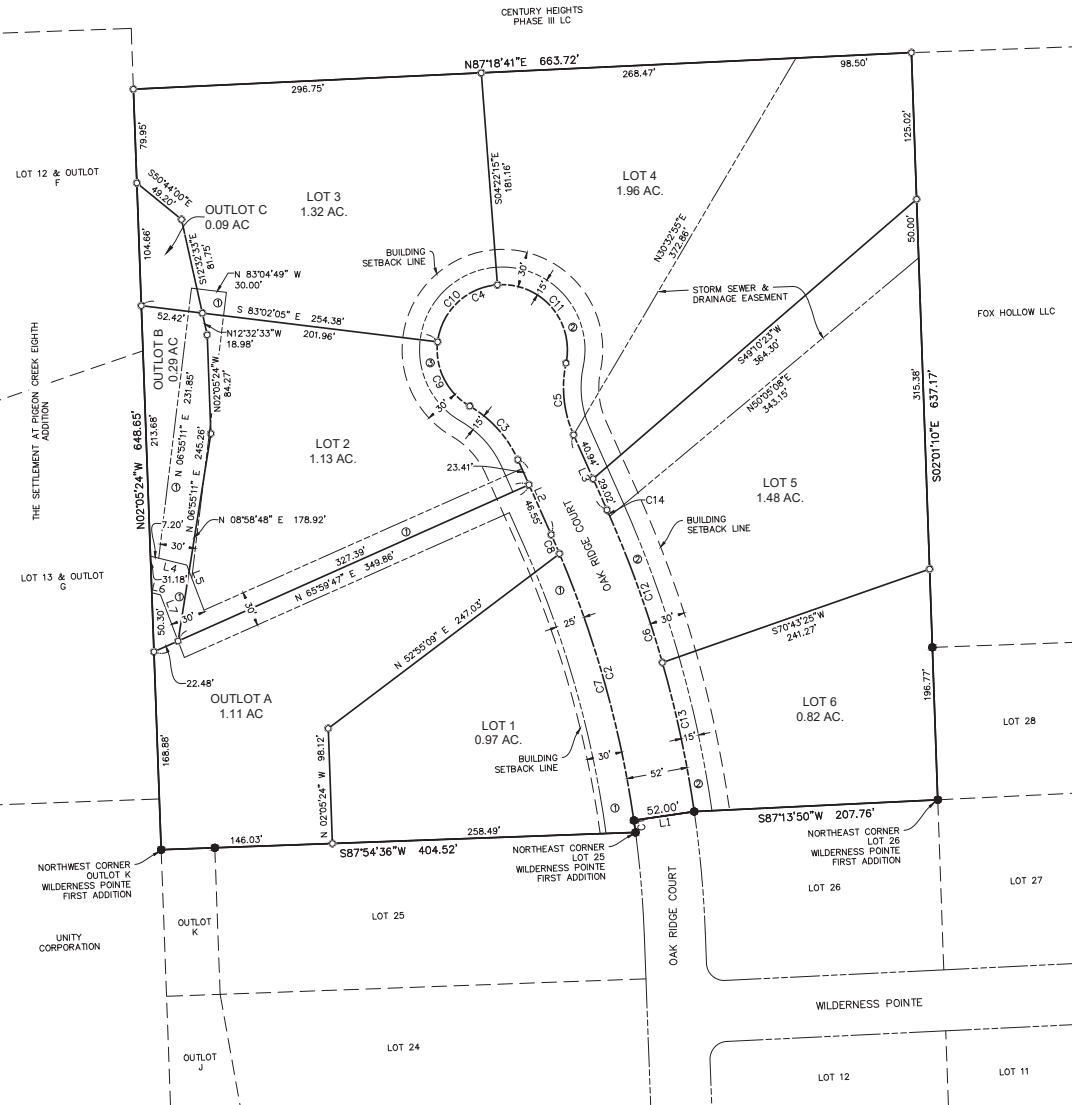
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Description: Part Southwest Quarter Section 12, Township 78 North,
Range 4 East of the 5th P.M.
Requestor: Kerkhoff Homes, Inc.
Proprietor: Kerkhoff Homes, Inc.
Surveyor: Luke D. Miller
Survey Company: Klingner & Associates, P.C.
Return To: Klingner & Associates, P.C.
411 East 60th Street, Davenport, Iowa 52807
dmeyer@klingner.com (563) 359-1348

FINAL PLAT OF WILDERNESS POINTE SECOND ADDITION TO THE CITY OF BETTENDORF, IOWA BEING PART OF THE SOUTHEAST QUARTER OF SECTION 12, TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5TH P.M. SCOTT COUNTY, IOWA



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RECORD**



Curve Table						
Curve #	Length	Radius	Delta	CH. BRNG.	CH. LEN.	
C1	10.41'	925.43'	0°38'40"	N07°56'12"W	10.41'	
C2	254.28'	925.43'	15°44'36"	N16°07'55"W	253.48'	
C3	62.41'	99.50'	35°56'08"	N41°58'17"W	61.39'	
C4	243.98'	55.50'	251°52'16"	N65°59'47"E	89.87'	
C5	62.41'	99.50'	35°56'08"	S06°02'09"E	61.39'	
C6	268.57'	977.43'	15°44'36"	N16°07'55"W	267.73'	
C7	236.58'	925.43'	14°38'51"	N15°35'02"W	235.94'	
C8	17.70'	925.43'	1°05'46"	S23°27'21"E	17.70'	
C9	64.81'	55.50'	66°54'17"	S26°29'13"E	61.19'	
C10	76.34'	55.50'	78°48'54"	S46°22'22"E	70.47'	
C11	102.83'	55.50'	106°09'43"	N41°08'57"W	88.74'	
C12	132.99'	977.43'	7°46'20"	N19°46'01"W	132.49'	
C13	130.00'	977.43'	7°37'14"	N12°04'14"W	129.90'	
C14	5.98'	977.43'	0°21'02"	N23°49'42"W	5.98'	

Line Table		
Line #	Direction	Length
L1	S81°44'23"W	52.00'
L2	N24°00'13"W	69.96'
L3	S24°00'13"E	69.96'
L4	S76°14'56"E	31.88'
L5	S20°51'46"E	41.15'
L6	S76°14'56"E	7.60'
L7	S20°51'46"E	42.07'

OWNER/DEVELOPER:
FOX HOLLOW LLC
ATTN: MARYELLEN HAWBAKER
247 HALLYON DRIVE
BETTENDORF, IA 52722

SURVEYOR/ENGINEER:
LUKE D. MILLER
KLINGNER & ASSOCIATES PC
411 EAST 60TH STREET
DAVENPORT, IA 52807

ATTORNEY:
WILLERISEN, BRITT & GORSLINE, P.C.
ATTN: MIKE GORSLINE
5119 UTICA RIDGE ROAD
DAVENPORT, IA 52807

LEGEND

- FOUND MONUMENT AS NOTED
- SET 5/8" IRON ROD WITH YELLOW PLASTIC CAP# 22229
- RIGHT OF WAY LINE
- SUBDIVISION BOUNDARY LINE
- PROPOSED LOT LINE
- BUILDING SETBACK LINE
- EASEMENT LINE
- EXISTING LOT LINE

EASEMENT LEGEND:

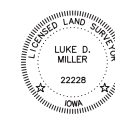
- ① SANITARY SEWER & UTILITY EASEMENT
- ② WATERMAIN & UTILITY EASEMENT
- ③ UTILITY EASEMENT
- ④ DRAINAGE & UTILITY EASEMENT
- ⑤ STORM SEWER & DRAINAGE EASEMENT

THE UTILITY EASEMENTS SHOWN ARE APPROVED:

MIDAMERICAN ENERGY	DATE
CENTURYLINK	DATE
MEDIACOM	DATE
IOWA AMERICAN WATER	DATE
METRONET	DATE
THIS FINAL PLAT AS SHOWN IS APPROVED:	
PLAN & ZONE COMMISSION	DATE
CITY OF BETTENDORF	DATE
ATTEST	DATE

GENERAL NOTES

- DISTANCES SHOWN IN FEET AND DECIMAL PARTS THEREOF.
- SUBDIVISION CONTAINS 9.83 ACRES, MORE OR LESS.
- BLANKET UNDERGROUND EASEMENTS GRANTED FOR ALL PRIMARY AND SECONDARY ELECTRIC CABLES, PAD MOUNTED TRANSFORMERS, ELECTRIC TRANSFORMERS, PRIMARY CABLES, GAS SERVICE, WATER SERVICE, SEWER LATERAL, TELEPHONE SERVICE AND CABLE T.V. SERVICE TO INDIVIDUAL STRUCTURES AND STREET LIGHTS.
- ALL STREET RIGHT OF WAYS ARE DEDICATED TO THE CITY OF BETTENDORF, IOWA, FOR STREET PURPOSES.
- LOTS ARE ZONED R-1 (SINGLE-FAMILY RESIDENCE DISTRICT).
- ALL IMPROVEMENTS TO BE INSTALLED IN ACCORDANCE WITH THE LATEST STANDARD SPECIFICATIONS OF THE CITY OF BETTENDORF, IOWA.
- ZONING SETBACK LINES ARE BASED ON ZONING REQUIREMENTS AS OF THE DATE OF CITY COUNCIL APPROVAL. IN CASE OF CONFLICT BETWEEN LINES SHOWN AND FUTURE CODE REQUIREMENTS THE CODE REQUIREMENTS SHALL GOVERN.
- SIDEWALKS SHALL BE INSTALLED ALONG BOTH SIDES OF ALL INTERIOR STREETS.
- PLAT NOTES ESTABLISH REQUIREMENTS FOR HOW A SUBDIVISION WILL DEVELOP. HOWEVER, THE CITY RESERVES THE RIGHT IN ITS SOLE DISCRETION TO ALTER OR AMEND ANY PLAT NOTE, OR TO SELL OR VACATE ANY RIGHT OF WAY OR UTILITY EASEMENT DEDICATED WITHIN THE PLAT. FURTHER, THE CITY RESERVES THE RIGHT UPON REQUEST OF THE OWNER TO RELOCATE ANY EASEMENT, ALTER LOT BOUNDARIES OR ALLOW GROUND TO BE REPLATTED.
- OUTLOT A IS DESIGNATED AS A SANITARY SEWER, STORM SEWER, DRAINAGE AND STORM WATER DETENTION BASIN EASEMENT AND SHALL BE OWNED AND MAINTAINED BY LOT 1.
- LOTS 2 & 3 CANNOT BE SOLD WITHOUT THE ADJOINING OUTLOTS B & C RESPECTIVELY. OUTLOTS SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNERS AND NO STRUCTURES ARE PERMITTED IN THE OUTLOTS.



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Iowa.
 Signature: **DO NOT RECORD**
 Luke D. Miller P.L.S., License Number 22228
 Date: **04-04-2023**
 My license renewal date is December 31, 2023
THIS SHEET ONLY
 Pages or sheets covered by this seal:

KLINGNER & ASSOCIATES, P.C.
Engineers • Architects • Surveyors
Davenport, Iowa
www.klingner.com
411 East 60th St
P.O. Box 1000
Davenport, IA 52807

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**FINAL PLAT
WILDERNESS POINTE
SECOND ADDITION
BETTENDORF, IA**

REVISION	DESCRIPTION	DATE

FIELD	BOOK

PROJECT NO.	18265-FINAL-PLAT-2ND
DATE	04-04-2023
SHEET	1 OF 1

STAFF REPORT

Subject: Planning and Zoning Commission
Author: Taylor Beswick
Department: Community Development
Date: May 17, 2023

Case No.: 23-031
Request: Site Development Plan for Two Medical Office/Dental Buildings
Location: Northwest corner of Forest Grove Drive and Friendship Path
Legal Description: Lot 7, Bettplex First Addition (Parcel #: 840203107)
Applicant: Paul Boffeli - Build to Suit, Inc.
Current Zoning: C-3, General Business District
Future Land Use: UMI, Urban Medium Intensity

Background Information & Facts

Paul Boffeli has submitted a site development plan for two buildings and associated parking located on Lot 7 of Bettplex First Addition ([see Aerial Map - Attachment A](#)). The property is located in the C-3, General Business District ([see Zoning Map - Attachment B](#)). The buildings are proposed to contain medical office tenants (north building) and a Beattie Family Dentist Clinic (south building) ([see Site Development Plan - Attachment C](#)). Renderings of the proposed buildout have been provided and contain modern architectural elements and design. A conceptual layout and floor plans are also included with the submitted renderings ([see Attachment D – Development Renderings](#)).

Future Land Use and Comprehensive Plan

The development area is shown as Urban Medium Intensity (UMI) on the Future Land Use Map ([see Attachment E – Future Land Use Map](#)). The proposal is consistent with uses and character envisioned in an UMI area. The development proposal also supports the following priorities in the Comprehensive Plan:

- Goal C: Attract and Retain Business and Industry
- Goal E: Enhance Community Design and Character.

Lot Configuration & Zoning Compliance

The proposed uses are classified as medical office and healthcare which are both permitted in the C-3 District. The lot contains front yards on Forest Grove Drive, Friendship Path, and Competition Drive. The C-3 building setback of 20 feet is met for all structures proposed. A variance was granted by the Board of Adjustment (Case No. 23-034) allowing the off-street parking to encroach 5 feet into the Friendship Path front yard setback. The encroachment does not limit the required 15 feet of streetscape buffer along Friendship Path which can only contain landscaping.

The side yard setback on the western boundary of the development is shown as 5 feet. Per Table 11-12-6A1 – Buffer Yard Requirements, a 30-foot buffer yard shall be required when a use is established in a more-intensive zoning district which is adjacent to a less-intensive zoning district. There is, however, one exception

in this table which states: “*When the development is adjacent to property which is zoned A-1 and likely to be developed, the land-use policy plan can be used as a guide to determining the future zoning and hence the buffer yard requirements in anticipation of that future zoning.*” Staff contends this development meets the requirements of the exception with the adjacent property shown as Urban Medium Intensity (UMI) on the Future Land Use Map and there being a high likelihood of medium-high intensity commercial development to occur on the A-1 parcel. This assumption considers the A-1 parcel’s location adjacent to Forest Grove Drive and the existing TBK Sports Complex developments. All addition bulk standards and regulation are met for the development including floor area, height, and setbacks.

Utilities & Refuse

The utilities have been reviewed by staff and are deemed sufficient for the proposed construction. One dumpster is located along the west side of the parking lot which will be shared by users of both buildings.

Thoroughfare Plan & Access

Vehicular access is shown via two curb cuts on Friendship Path. Staff is recommending an amendment to the site plan to show only one curb cut containing up to three lanes. The ingress/egress should align with the Trillium Private Drive curb cut. Staff cites increased safety, improved circulation, and enhanced turning movements for existing and future developments located in the surrounding area as a reason for limiting the number of curb cuts for the proposed site plan (see BettPlex Regional Site Plan – Attachment F). No access will be allowed on Competition Drive or Forest Grove Drive.

Pedestrian and Trail Access

A sidewalk is shown in the right-of-way along Friendship Path which will connect to future sidewalk and trail networks along Forest Grove Drive. Interior service walks are also shown for the development connecting the building entrances and off-street parking to the Friendship Path sidewalk. A sidewalk is not shown along Competition Drive. Staff is recommending a sidewalk be constructed at this location for connectivity to future development located west of this proposal.

Off-Street Parking

The site plan provides a total of 79 parking stalls, including 4 ADA spaces (see Parking Plan – Attachment G). Per the off-street parking schedule, the requirement is met based on the defined uses of medical office and healthcare and using the provided floor plans for each building (see Building Floor Plans – Attachment H). Staff contends sufficient off-street parking is provided.

Stormwater Detention

All stormwater is conveyed to an off-site detention pond located east of the development on Lot 6 of BettPlex Third Addition. Stormwater calculations for the development have been reviewed, and the off-site detention does have sufficient capacity.

Landscaping

The proposed development shows a total of 23 tree factors located primarily in the streetscape buffer areas of the development (see Landscape Plan - Attachment I). Two parking islands are shown with plantings in the off-street parking area which meets the vehicular use area landscaping requirements for the development.

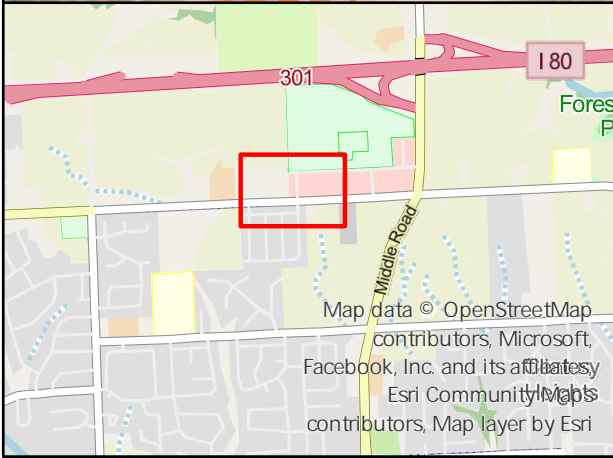
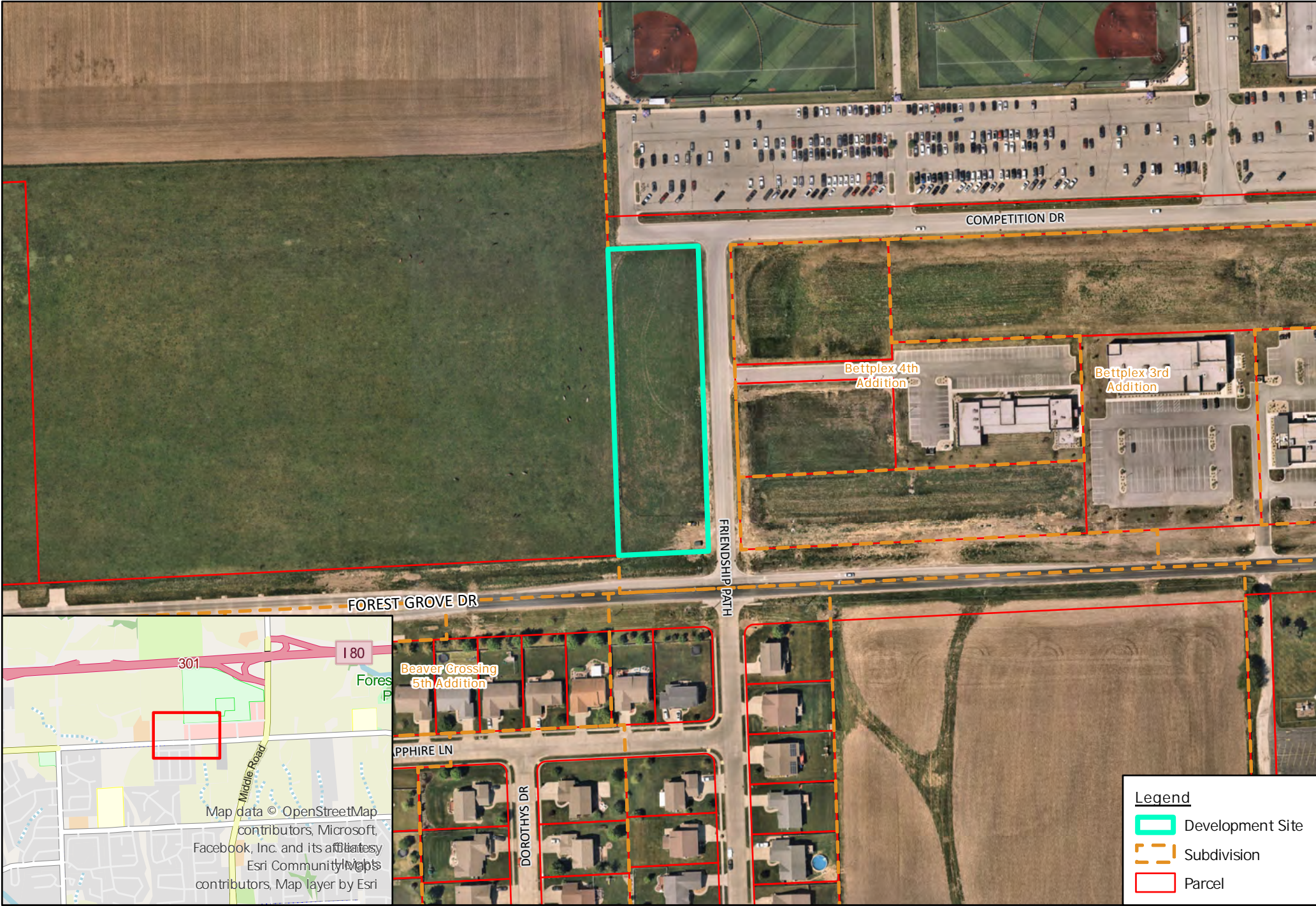
Staff Recommendation

Staff contends the proposed development meets site development standards and code requirements. Staff recommends approval of Case No. 23-031, site development plan for Lot 7, Bettplex First Addition with the following conditions:

1. One curb cut access will be allowed on Friendship Path.
2. A 5-foot wide sidewalk be constructed along Competition Drive to facilitate connection to future development located west of the property.

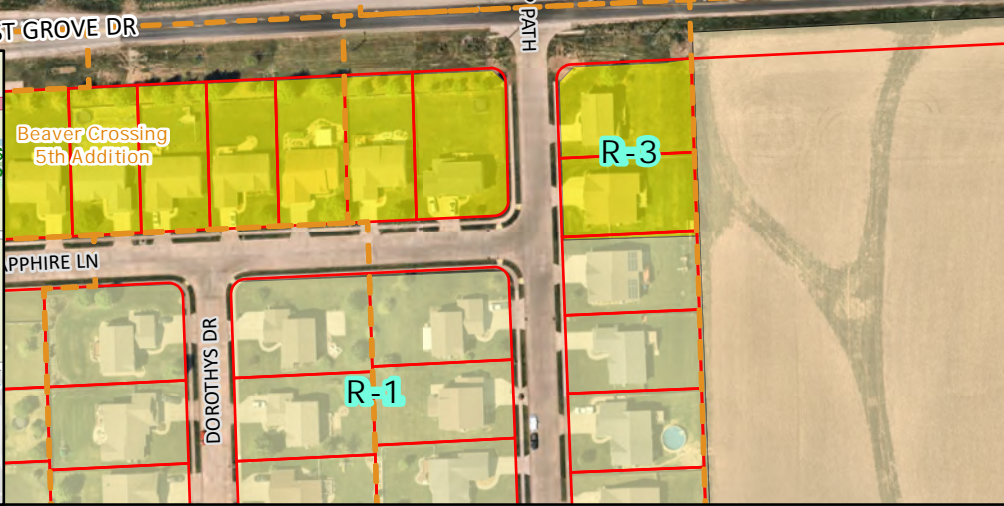
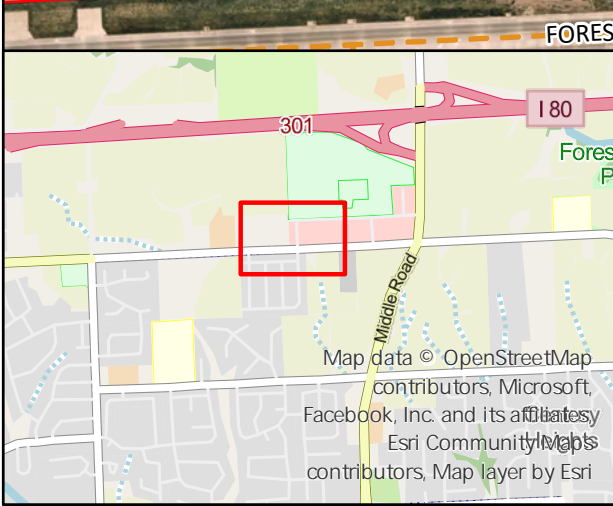
Respectfully submitted,

Taylor Beswick
City Planner



Legend

- Development Site
- Subdivision
- Parcel

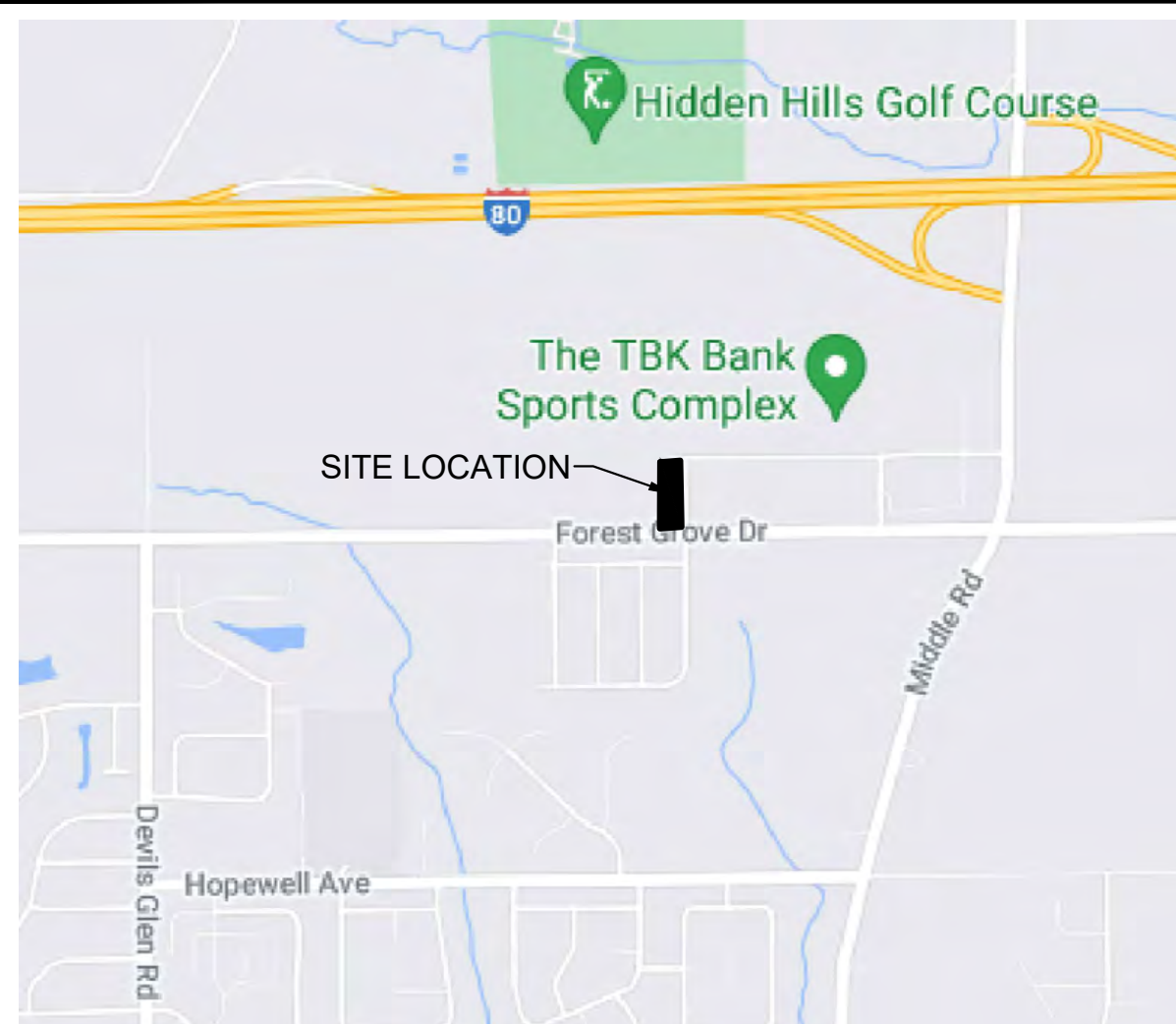


Legend

- Development Site
- Subdivision
- Parcel

Zoning District

- A-1 Agricultural/Urban Reserve
- C-3 General Business
- C-7 Regional Entertainment
- R-1 Single Family Res.
- R-2 Single-Family Residence
- R-3 Mixed Residential



VICINITY MAP
NOT TO SCALE

DEVELOPER: BUILD TO SUIT
1805 STATE STREET #101
BETTENDORF, IOWA 52722
563.355.2022

ARCHITECT: STREAMLINE ARCHITECTS
575 12TH AVENUE
EAST MOLINE, ILLINOIS 61244
563.345.2724

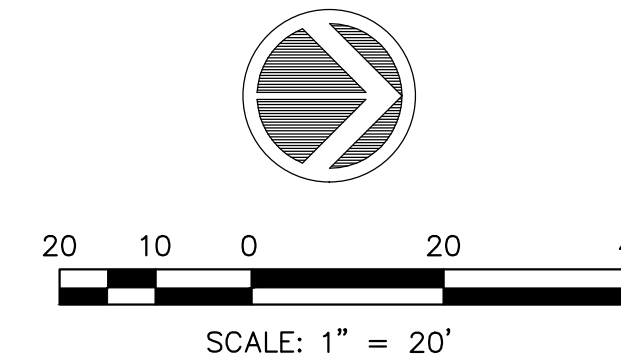
LEGAL DESCRIPTION
LOT NUMBER 7 OF BETTPLEX 1ST ADDITION, IN THE CITY OF BETTENDORF, SCOTT COUNTY, IOWA

SITE INFORMATION	
ZONING DISTRICT: C-3 PUBLIC GATHERING AND RECREATIONAL ACTIVITY DISTRICT	
SITE LOCATION: LOT 7 BETTPLEX 1ST ADDITION, BETTENDORF, IOWA	
TOTAL LOT 7 AREA	70,011 S.F. ±
	1.61 ACRES ±
FRONT YARD REQUIRED	20'
SIDE YARD REQUIRED	NONE
REAR YARD REQUIRED	10'
TOTAL BUILDING AREAS	(A) = 7,524 SF (B) = 6,592 SF
REQUIRED PARKING = 79 SPACES (INCLUDING 4 ADA) REFER TO ARCH. SITE PLAN PROVIDED = 79 (INCLUDING 4 ADA)	
TOTAL VEHICULAR USE AREA (V.U.A.) = 29,515 S.F. ±	
CONSTRUCTION ACTIVITY DESCRIPTION: The construction includes 2 proposed buildings, associated parking lot and utilities.	

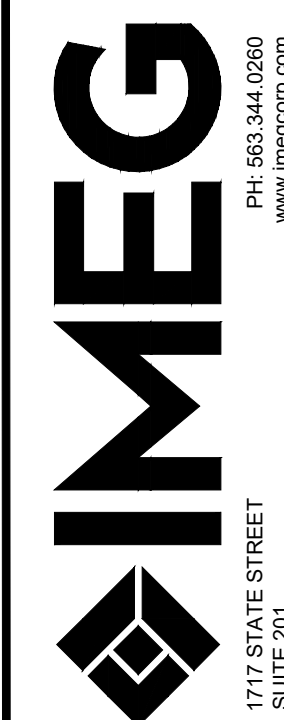
- GENERAL NOTES**
- ALL IMPROVEMENTS SHOWN ON THESE ENGINEERING PLANS SHALL COMPLY WITH THE CITY OF BETTENDORF DESIGN AND SPECIFICATIONS, LATEST EDITION, AND THE STANDARDS OF THE IOWA DEPARTMENT OF NATURAL RESOURCES, LATEST EDITION.
 - UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS, AND FIELD INVESTIGATION. THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THEREOF.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND PAVED STREETS, INCLUDING ANY NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF ANY CONFLICTS WITH THE DRAWINGS OCCUR. ANY DAMAGE TO EXISTING UTILITIES AND/OR PAVED STREETS CAUSED BY TRENCHING AND GRADING OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
 - PROVIDE POSITIVE DRAINAGE AT ALL TIMES WITHIN THE CONSTRUCTION AREAS. DO NOT ALLOW WATER TO POND ONTO ADJOINING PROPERTY OR PUBLIC RIGHT-OF-WAY.
 - ALL DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS SHALL BE PROPERLY DISPOSED OF OFF-SITE.
 - THE CONTRACTOR SHALL EXERCISE PROPER CAUTION TO PROTECT THE EXISTING IMPROVEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE.
 - ALL EROSION CONTROL MEASURES MUST BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY EARTH DISTURBING OPERATIONS. THE REMAINING EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS REASONABLY POSSIBLE AFTER GRADING OPERATIONS BEGIN. WHERE THE PRESENCE OF SILT FENCE WILL INTERFERE WITH ACTIVITIES, DIVERSION DITCHES AND SMALL TEMPORARY SEDIMENT TRAPS SHALL BE UTILIZED UNTIL SILT FENCE OR OTHER MEASURES MAY BE INSTALLED AND VEGETATION ESTABLISHED.
 - BUILDING CONSTRUCTION TYPE IS ANTICIPATED TO BE TYPE "VB" PER THE 2009 INTERNATIONAL BUILDING CODE.
 - SEE ARCHITECTURAL PLANS. BUILDING OCCUPANCY TYPES ARE ANTICIPATED TO BE (BUILDING A) "BUSINESS-OUTPATIENT CLINIC" (BUILDING B) "BUSINESS-SHELL ONLY" PER THE 2009 INTERNATIONAL BUILDING CODE.
 - THE PROPOSED BUILDINGS WILL NOT BE EQUIPPED WITH AUTOMATIC FIRE SPRINKLER SYSTEMS
 - PROVIDED PROPERTY YARD DIMENSION NOTES
 - 30' WIDE BUFFER YARD ALONG WEST PROPERTY LINE (NO BUILDINGS WITHIN BUFFER YARD)
 - 30' WIDE STREET YARD ALONG NORTH, EAST, & SOUTH PROPERTY LINES
 - 5' WIDE SIDE YARD ALONG WEST PROPERTY LINE



Know what's below.
Call before you dig.



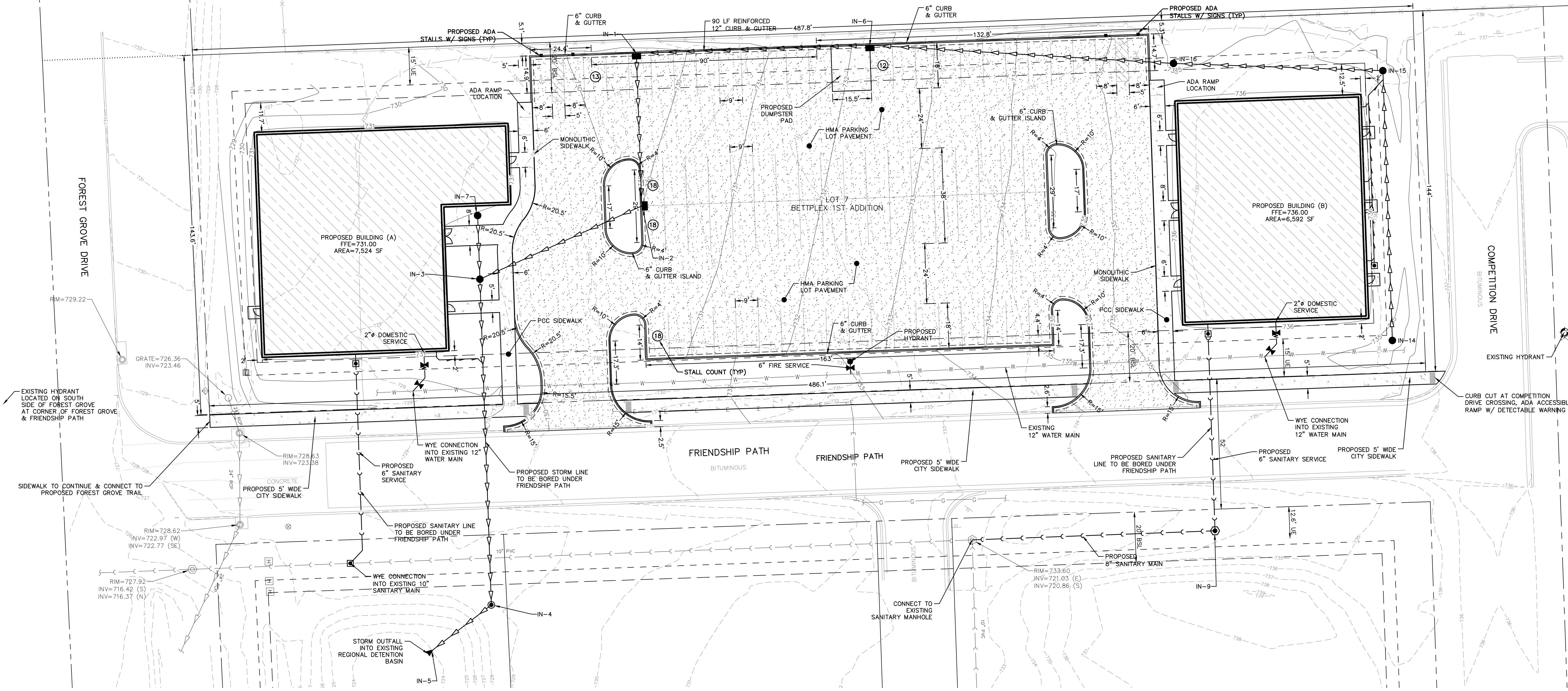
NO.	REVISIONS DESCRIPTION	DATE



177 STATE STREET
SUITE 200
BETTENDORF, IA 52722
PH: 563.344.0260
WWW.IMEG.COM

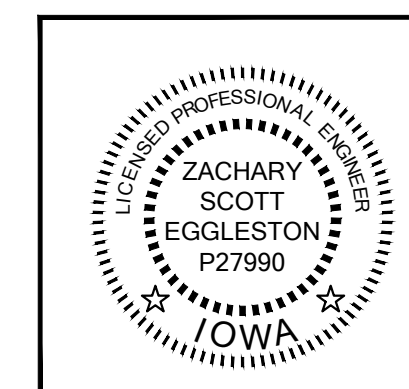
BETTPLEX LOT 7 DEVELOPMENT
BETTENDORF, IA

CITY SITE PLAN



LEGEND

- | | | | | |
|----------------------|------------------------------|----------------------------|-------------------------------|-----------------------------|
| □ STORM INLET | — SURVEY BOUNDARY | - - - SETBACK LINE | — PROPOSED SANITARY SEWER | ⊕ PROPOSED WATER VALVE |
| △ FLARED END SECTION | — PROPERTY LINE | - - - SANITARY SEWER | — PROPOSED STORM SEWER | ⊕ PROPOSED HYDRANT |
| ○ CENTERLINE | — HISTORICAL LINE - AS NOTED | - - - WATER LINE | — PROPOSED WATER LINE | ⊕ PROPOSED SANITARY MANHOLE |
| ⊕ WATER VALVE | — EASEMENT LINE | - - - 580 CONTOUR | — PROPOSED STORM SEWER INLET | ⊕ PROPOSED CLEANOUT |
| ⊕ HYDRANT | — R.O.W. LINE | - - - 580 PROPOSED CONTOUR | — PROPOSED FLARED END SECTION | ⊕ PROPOSED HMA PAVEMENT |
| | | | ⊕ PROPOSED STORM MANHOLE | ⊕ PROPOSED PCC PAVEMENT |



I hereby certify that this plan was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Zachary S. Eggleston
Signature
04/25/2023
Date

Zachary Scott Eggleston
License No. P27990
My license renewal date is December 31, 2024
Pages or sheets covered by this seal: THIS SHEET

IMEG Project No:
23000975.00

File Name:
23000975-00 City Site Plan.dwg

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Field Book No: #####

Drawn By: ZSE

Checked By: JLH

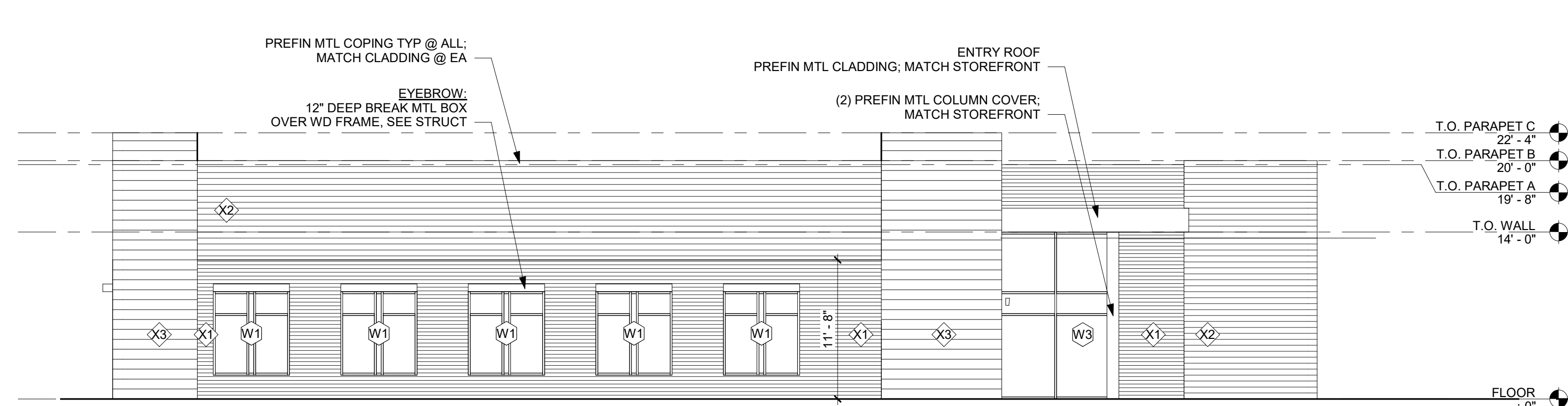
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C-1

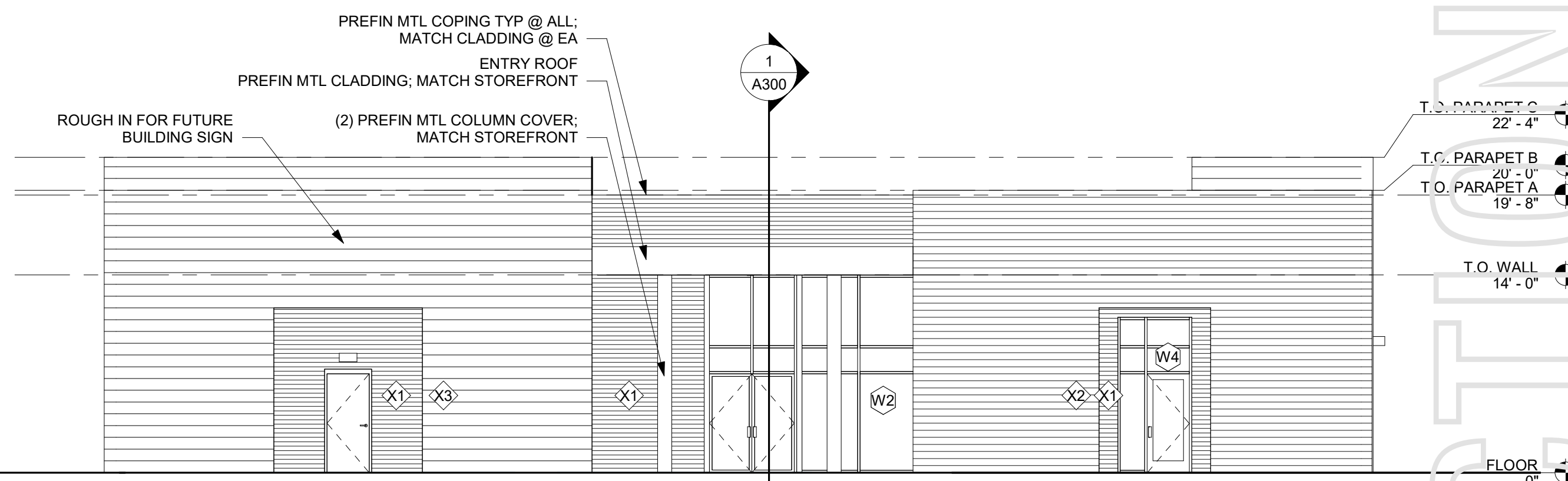
Sheet 1 of 1

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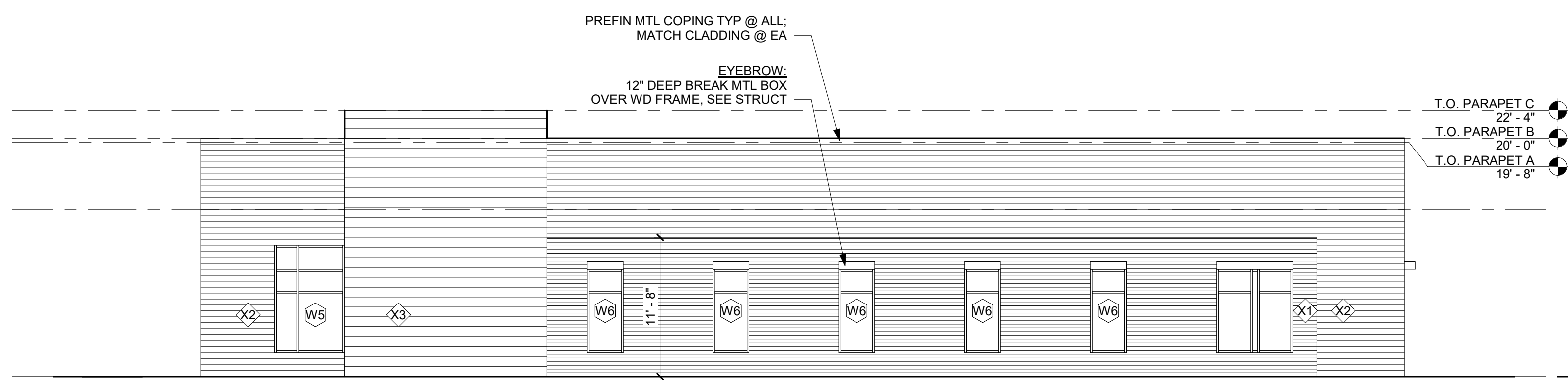
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	90pct REVIEW SET	03/15/2023



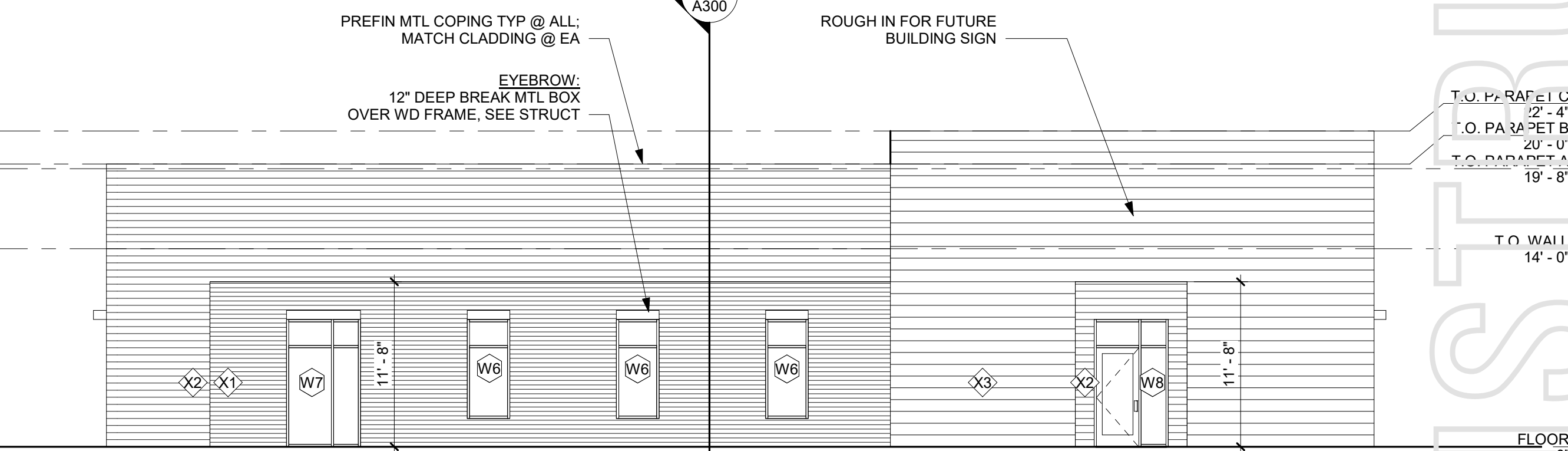
2 EXTERIOR ELEVATION - EAST
1/8" = 1'-0"



1 EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"



4 EXTERIOR ELEVATION - WEST
1/8" = 1'-0"



3 EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"

MATERIAL LEGEND			
ITEM	MANUFACTURER	MATERIAL SPECIFICATIONS	REVISION
X1	LP SmartSide	LAP SIDING, 4" EXPOSURE, SMOOTH TEXTURE - MANUFACTURER'S STANDARD COLOR	1
X2	LP SmartSide	LAP SIDING, 6" EXPOSURE, SMOOTH TEXTURE - MANUFACTURER'S STANDARD COLOR	1
X3	LP SmartSide	LAP SIDING, 10" EXPOSURE, SMOOTH TEXTURE - MANUFACTURER'S STANDARD COLOR	1
--	--	PREFIN MTL FLASHING, WALL COPING, TRIM - COLOR TBD	1.2
--	--	PREFIN MTL COLUMN COVER - FINISH TO MATCH ANOD ALUM STOREFRONT	1.2

NOTES:
1. ALL FINISHES TO BE APPROVED BY ARCHITECT & OWNER
2. CONTRACTOR SUPPLIED

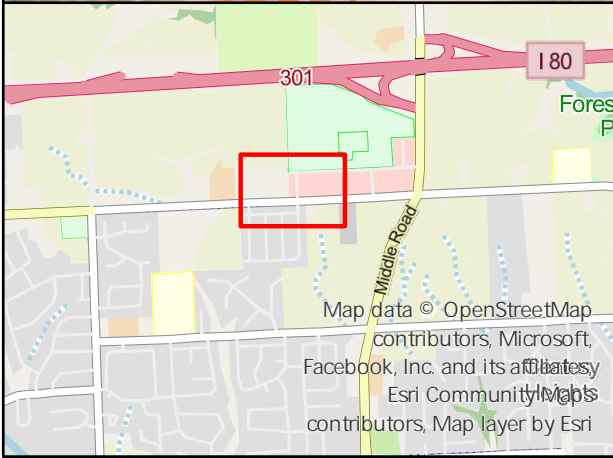
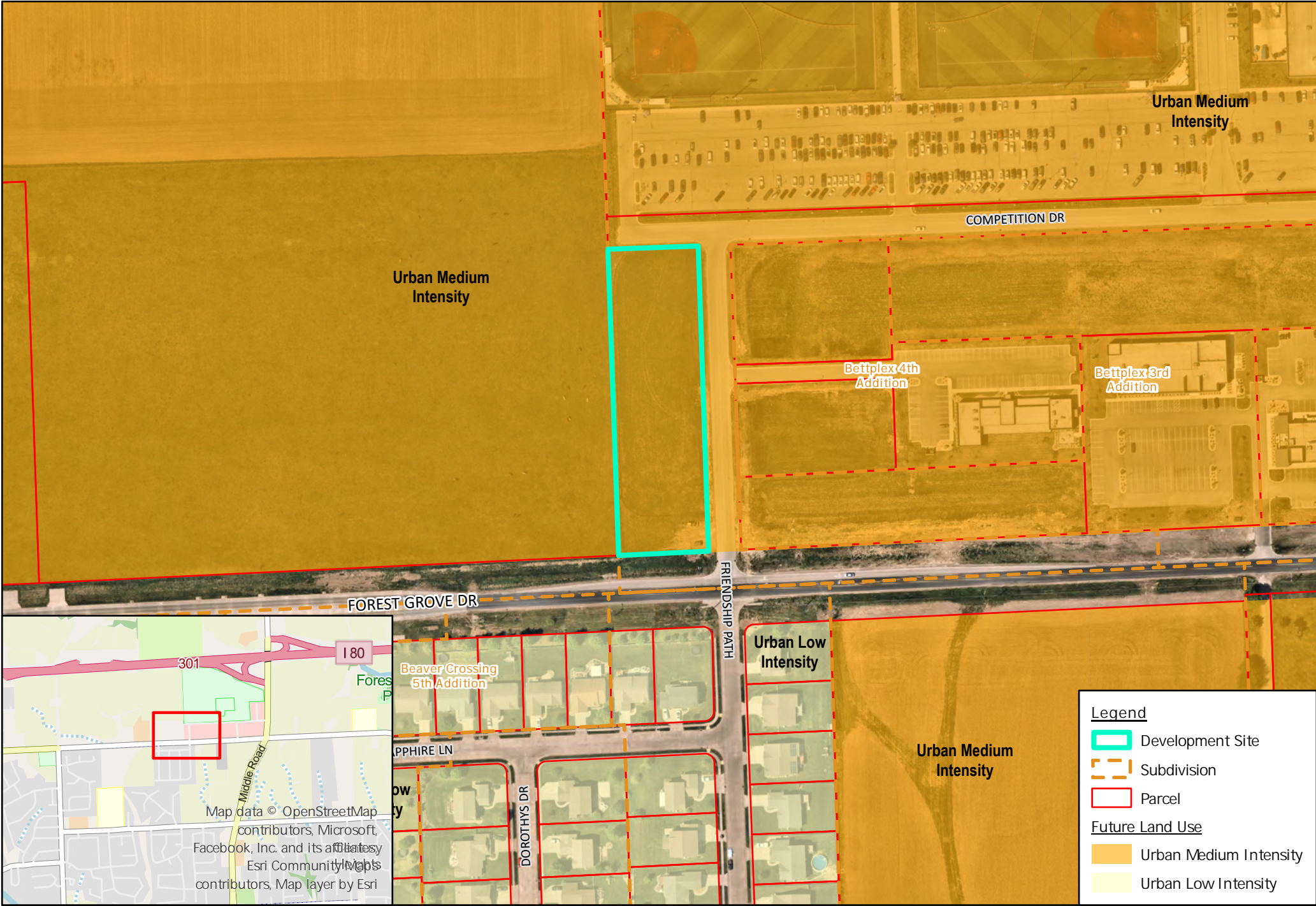
BEATTIE FAMILY DENTAL
SOUTH CLINIC BUILDING
BETTPLEX FIRST ADDITION LOT 7
BETTENDORF, IA 52722

Project number	22-102
Date	03/03/2022
Drawn by	CJR
Checked by	CMS

EXTERIOR
ELEVATIONS

A200

NOT FOR CONSTRUCTION



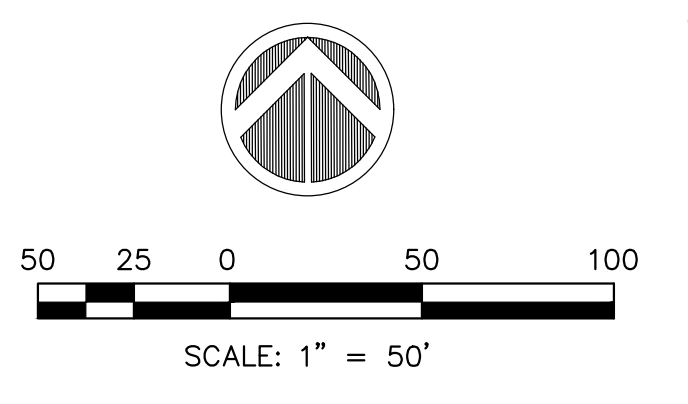
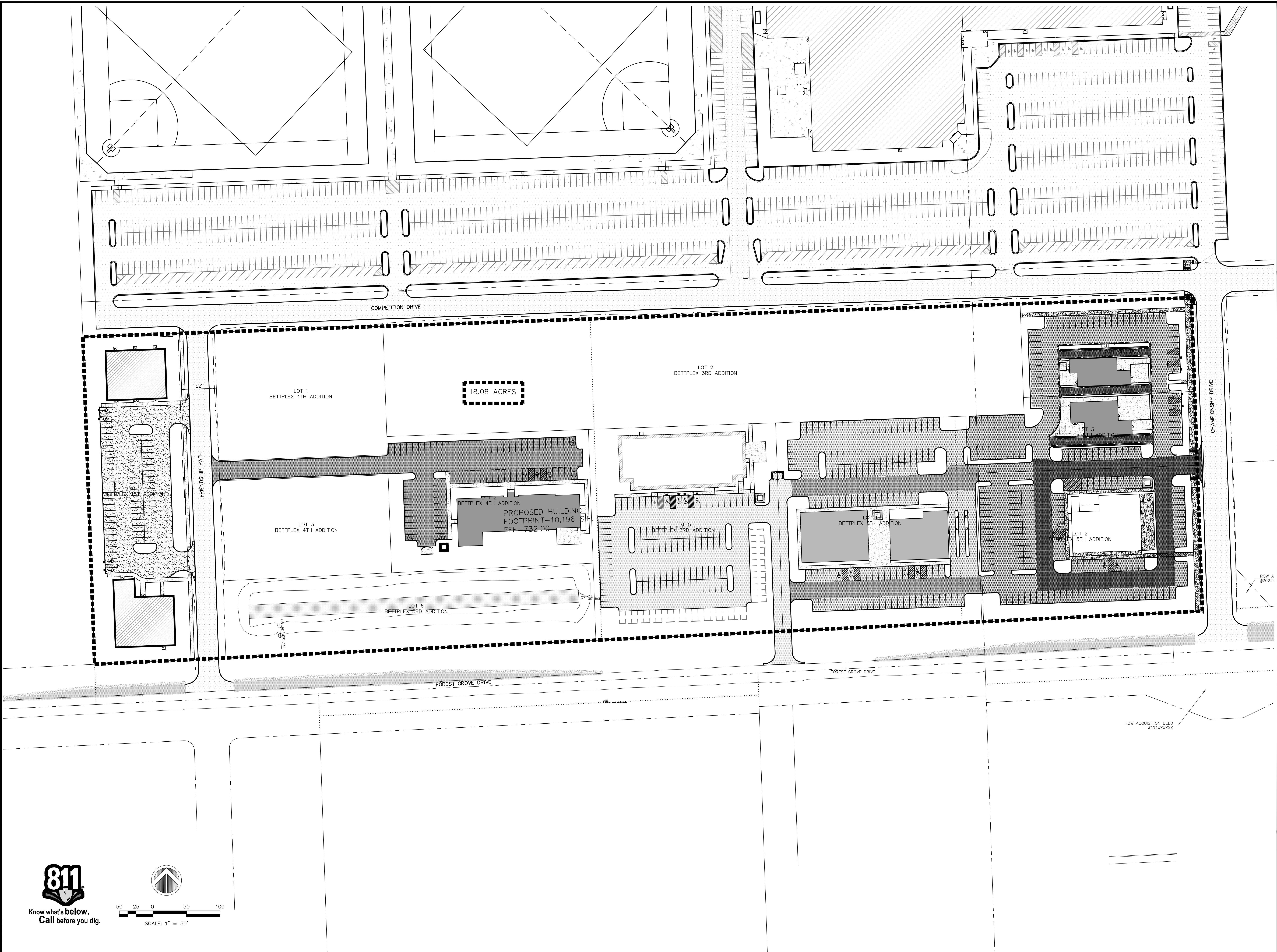
Legend

- Development Site
- Subdivision
- Parcel

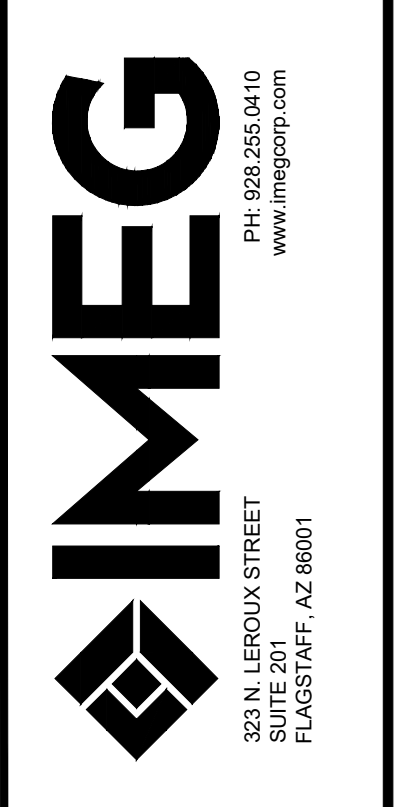
Future Land Use

- Urban Medium Intensity
- Urban Low Intensity

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NO.	REVISIONS DESCRIPTION	DATE



PROJECT NAME
 #####
 30X42

IMEG Project No:
 XXXXX.XX
 File Name:
 Bettplex Property-2023.dwg
 © COPYRIGHT 2023
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 Field Book No:####
 Drawn By: ##
 Checked By: ##
 Date: ####/##/##
C-4
 Sheet 5 of ##



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STREAMLINE ARCHITECTS, P.L.C.
 ANDREW DASSO, AIA
 575 12TH AVENUE
 EAST MOLINE, IL 61244
 (563) 345-2724

CALEB ROGERS, AIA
 (712) 310-8177
 caleb@streamlinearchitects.com



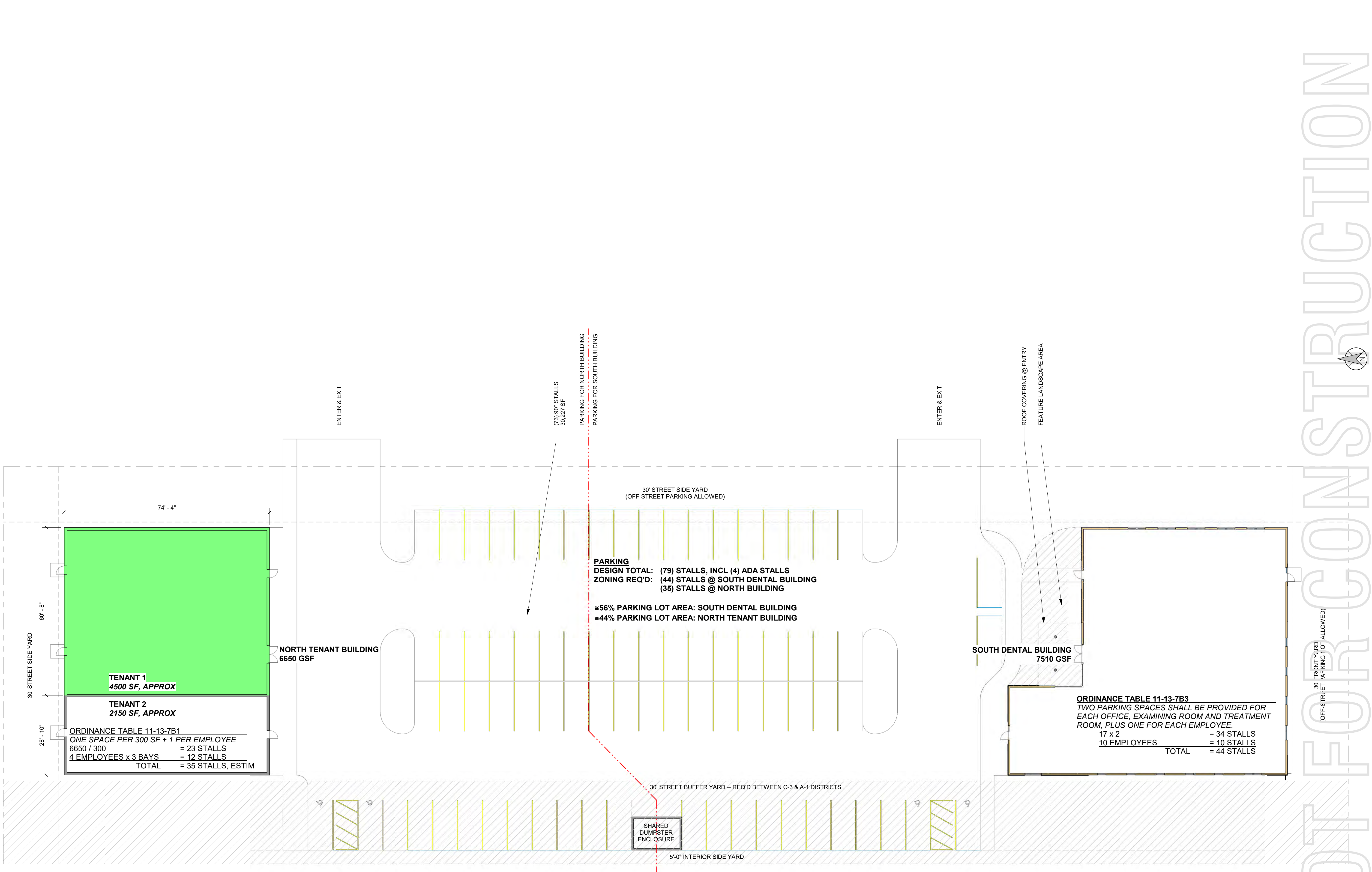
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	INITIAL BID SET	10/26/2022
	PARKING REVISION	12/01/2022
	CLIENT COORD	

BEATTIE FAMILY DENTAL
SOUTH CLINIC BUILDING
BETTPLEX FIRST ADDITION LOT 7
BETTENDORF, IA 52722

Project number	22-102
Date	03/03/2022
Drawn by	CJR
Checked by	---

**ARCHITECTURAL
 SITE PLAN**

AS101



SITE DEVELOPMENT NOTES:

1. IS THERE A CROSS-PARKING AGREEMENT? (CAN NEW BUILDINGS UTILIZE EXISTING NEIGHBORING PARKING LOTS AS OVERFLOW? (NEED ESTIMATED 24 ADDITIONAL STALLS))
2. IS STORMWATER DRAINAGE ACCOUNTED FOR IN EXISTING SYSTEMS AT NEIGHBORING PARCELS? (DO NEW BUILDINGS/PARKING NEED TO PROVIDE THEIR OWN TREATMENT & DETENTION AREAS?)
3. CITY PLANNING HAS CONFIRMED A REQUIREMENT FOR A 30 FOOT WIDE BUFFER YARD ALONG WEST PROPERTY LINE. THIS AREA CANNOT CONTAIN BUILDINGS.
4. CITY PLANNING HAS CONFIRMED THAT 30 FOOT WIDE STREET YARDS WILL BE ENFORCED ALONG NORTH, EAST, & SOUTH PROPERTY LINES.
5. CITY PLANNING HAS CONFIRMED THAT A 5 FOOT WIDE SIDE YARD WILL BE ENFORCED ALONG THE WEST PROPERTY LINE.
6. CITY PLANNING ACKNOWLEDGES THE NARROWNESS OF THE LOT DUE TO THE BUFFER YARD AND STREET SETBACK ARE RESTRICTIVE TO THE DEVELOPMENT.
 ANY REQUESTED ADJUSTMENTS WILL NEED TO MOVE THROUGH A VARIANCE PROCEEDING & ARE NOT GUARANTEED TO BE APPROVED.

① POTENTIAL SITE PLAN
 1/16" = 1'-0"

NOT FOR CONSTRUCTION

- FLOOR PLAN GENERAL NOTES**
1. ALL WORK SHALL BE COMPLIANT WITH THE CODES, ORDINANCES, & REGULATIONS OF THE AUTHORITIES HAVING JURISDICTION OVER THE PROJECT LOCATION.
 2. ALL DIMENSIONS ARE TO FACE OF FRAMING/STRUCTURE (U.N.O.).
 3. MECHANICAL CONTRACTOR TO VERIFY ALL MECHANICAL SYSTEMS ARE INSTALLED IN COMPLIANCE WITH ALL APPLICABLE CODES.
 4. ELECTRICAL CONTRACTOR TO VERIFY ALL ELECTRICAL SYSTEMS ARE INSTALLED IN COMPLIANCE WITH ALL APPLICABLE CODES.
 5. ALL LIGHTING DESIGN BY ELECTRICAL CONTRACTOR
 6. PLUMBING CONTRACTOR TO VERIFY ALL PLUMBING SYSTEMS ARE INSTALLED IN COMPLIANCE WITH ALL APPLICABLE CODES.
 7. FIRE PROTECTION CONTRACTOR TO VERIFY ALL FIRE PROTECTION SYSTEMS ARE INSTALLED IN COMPLIANCE WITH ALL APPLICABLE CODES.
 8. DOOR & HARDWARE SUPPLIER TO VERIFY THAT HARDWARE MEETS ALL APPLICABLE CODES & REGULATIONS.
 9. ALL NEW WOOD DOORS TO BE FACTORY FINISHED.
 10. PROVIDE CONTROL JOINTS IN GYPSUM BOARD ASSEMBLIES AS INDICATED & PER GYPSUM BOARD MANUFACTURER RECOMMENDATIONS. IF NOT INDICATED, PROVIDE AT 30'-0" MAXIMUM INTERVALS WITH COMMUNICATION WITH DOOR HEADS AND / OR OTHER WORK WHEN APPLICABLE.

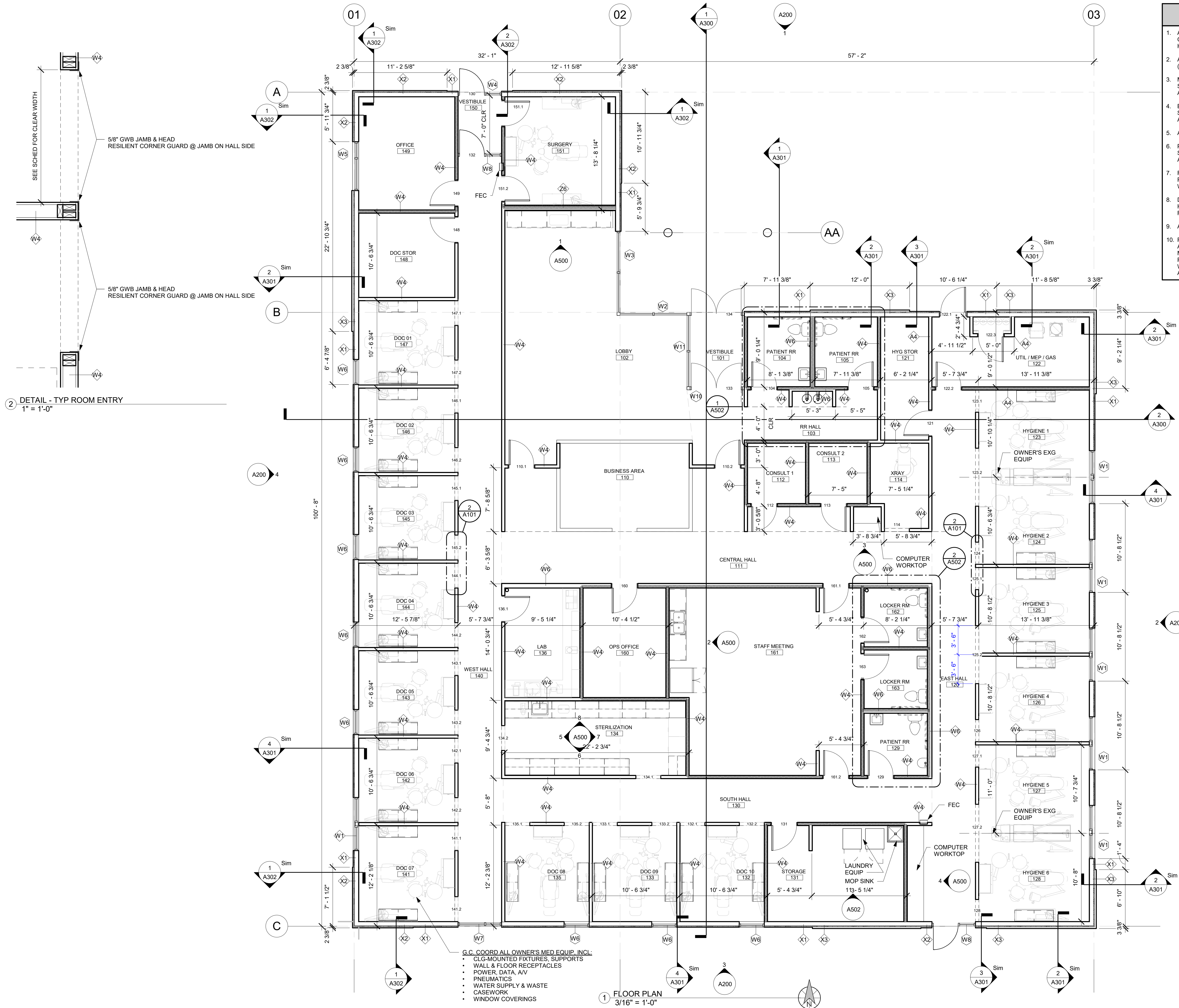
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2	CLIENT COORD	
3	90pct REVIEW SET	03/15/2023

BEATTIE FAMILY DENTAL
SOUTH CLINIC BUILDING
BETTPLEX FIRST ADDITION LOT 7
BETTENDORF, IA 52722

Project number	22-102
Date	03/03/2022
Drawn by	CJR
Checked by	CMS

FLOOR PLAN

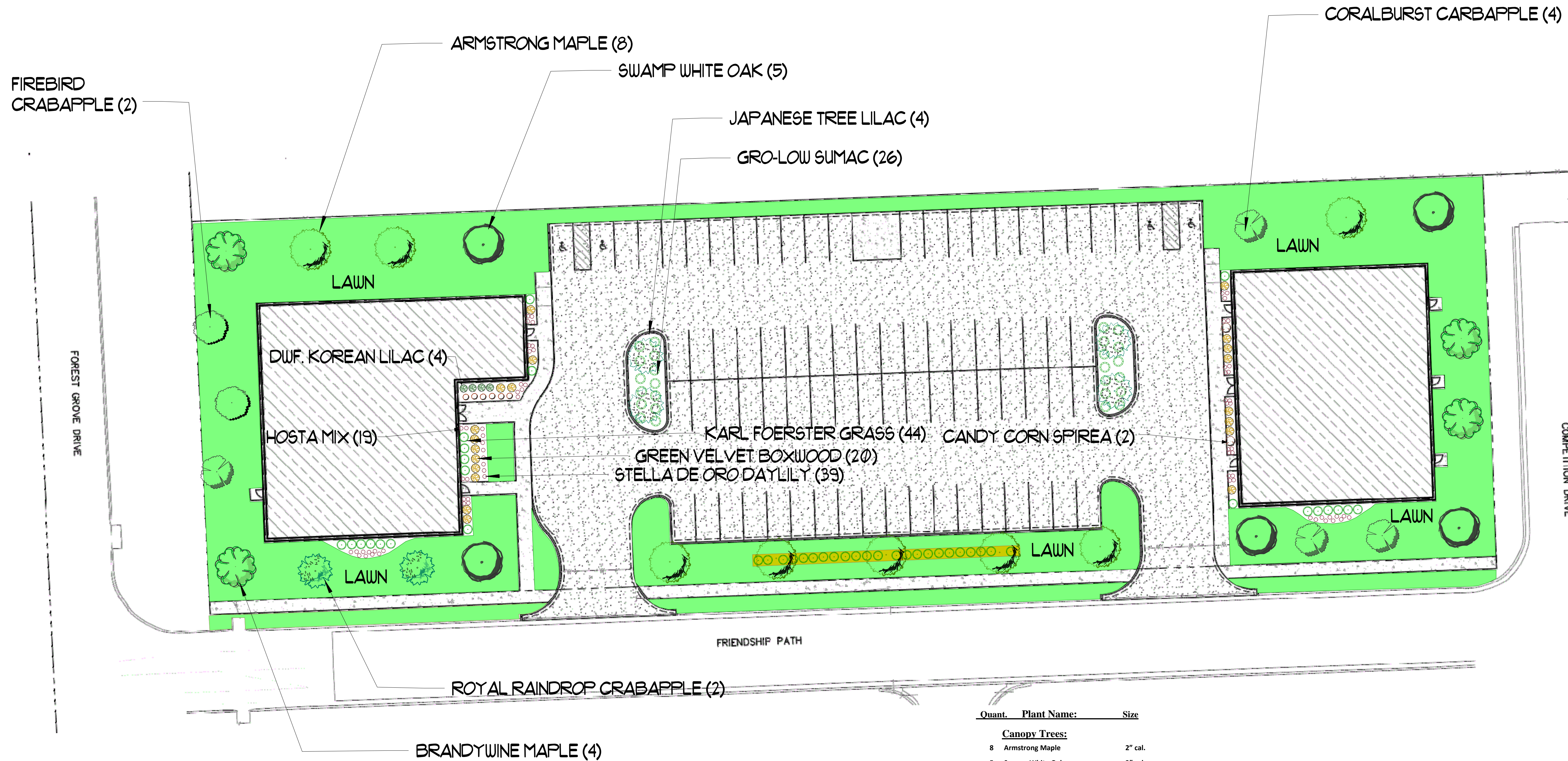
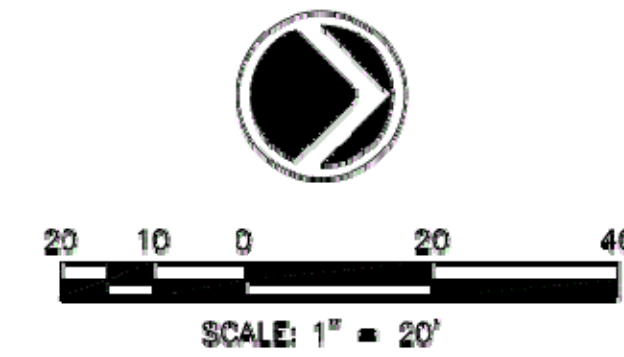
A101



2 DETAIL - TYP ROOM ENTRY
1" = 1'-0"

- G.C. COORD ALL OWNER'S MED EQUIP, INCL:
- CLG-MOUNTED FIXTURES, SUPPORTS
 - WALL & FLOOR RECEPTACLES
 - POWER, DATA, A/V
 - PNEUMATICS
 - WATER SUPPLY & WASTE CASEWORK
 - WINDOW COVERINGS

1 FLOOR PLAN
3/16" = 1'-0"



Landscape:

1. Plant locations to be approved by Landscape Architect before final planting.
2. Mulch all planting areas with a 3" layer of premium shredded hardwood unless noted otherwise. Spade edge on all planting beds adjacent to turf areas.
3. Amend the planting backfill soil for trees and shrubs with compost (1/3 compost & 2/3 existing).
4. Apply a granular pre-emergent (Treflan or equal) to all mulched planting areas as per manufacturer's recommendations.
5. 1-year warranty on trees and shrubs. One-time replacement. Proper care and maintenance are the responsibility of the Owner.

Turf:

1. Fine grade and prepare designated areas for seed or sod.
2. Hydroseed with a GC Type 1 Bluegrass Blend from Stormwater Supply (or equal). Apply at the rate of 10 lbs./1000 sf. Apply starter fertilizer @ 400# per acre. Fiber mulch will be BFM applied at manufacturer's recommended rate.
3. Sod will be a locally grown Bluegrass from Seven City Sod.
4. Watering and care are the responsibility of the Owner.

Landscape Requirements

Property Line	North	South	East	West
Adjacent Zoning	C2	C2	C2	C2
Length	145'	145'	493'	493'
Bufferyard Required				
TF Required	0	0	0	0
Street Yard Landscape				
TF Required	3.11	3.11	10.56	0
Vehicular Use Area				
Vehicular Use Area	44,417 SF			
Landscape Area Required	(7%) / 3,100 SF			
Parking Spaces Defined	78			
TF Required (1/500 sf)	6.22			
Required	Tree Factors (TF)	Provided		
23.00		23.00		

Quant. Plant Name: Size

Canopy Trees:

8	Armstrong Maple	2" cal.
5	Swamp White Oak	2" cal.
4	Brandywine Maple	2" cal.
4	Coralburst Crabapple	2" cal.
4	Japanese Tree Lilac	7" MS
2	Royal Raindrop Crabapple	2" cal.
2	Firebird Crabapple	2" cal.

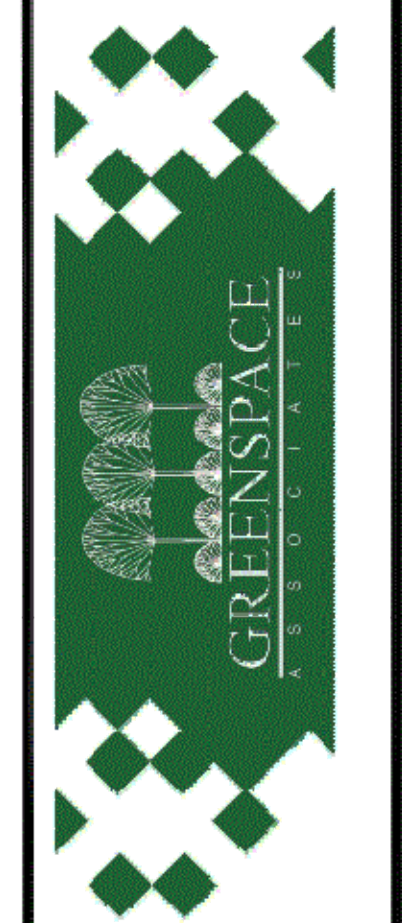
Shrubs/Grasses:

2	'Candy Corn' Spirea	5 gal
20	'Green Velvet' Boxwood	5 gal
26	Gro-Low Sumac	5 gal
44	Karl Foerster Grass	5 gal
4	Dwf. Korean Lilac	5 gal
19	Hosta Mix	1 gal
39	'Stella de Oro' Daylily	1 gal

TOM P. WILKERSON
REGISTERED LANDSCAPE ARCHITECT
IOWA #00402

GREENSPACE ASSOCIATES
6740 VALLEY DR. BETTENDORF, IOWA 52722
563-355-6148 563-355-6115 fax
tom@greenspaceassociates.com

REVISIONS	DESCRIPTION	DATE
No.		



BETTPLEX LOT 7 DEVELOPMENT
BETTENDORF, IA
LANDSCAPE PLAN

IMEG Project No:
23000975.00
File Name:
23000975-00_Existing_Site
© COPYRIGHT 2023
ALL RIGHTS RESERVED
Field Book No:####
Drawn By:
Checked By:
Date:
Sheet of

Tuesday, March 24, 2023 2:57:30 PM
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STAFF REPORT

Subject: Hopewell Farm Second Addition -
Final Plat
Author: Greg Beck
Department: Community Development



Case No.: 23-028
Request: Replatting to delineate separate portions of existing plat Hopewell Farm First Addition
Location: 5019 Hopewell Avenue – south of Hopewell Avenue and east of Middle Road
Legal Description: Hopewell Farm First Addition - Parcel No. 841105101
Applicant: Ben Eastep - CT Creek
Current Zoning: A-1, Agricultural/Urban Reserve District
Proposed Zoning: R-3, Mixed Residential District
Future Land Uses: Urban Medium Intensity (west - church) Urban Low Intensity (east - townhouses)

Background Information & Facts

Ben Eastep of CT Creek has submitted a request for a final plat of Hopewell Farm Second Addition (see Aerial Map, Attachment A). The zoning is proposed as R-3, Mixed Residential District and the future land use designation is split between Urban Medium Intensity (west) and Urban Low Intensity (east) (see Zoning Map and Future Land Use Map, Attachments B and C.) The petitioner is proposing this replatting of Hopewell Farm First Addition to accommodate a church on the west side of the proposed subdivision and townhouses on the east side of the subdivision (see Final Plats, Attachments D and E).

Future Land Use and Comprehensive Plan

Both future land use designations permit the rezoning to the R-3, Mixed Residential District, which allows the church and townhouse uses. The proposed development is consistent with Comprehensive Plan Goal D: Provide Housing Options and Reinvest in Existing Neighborhoods and Goal G: Attract Young People. Goal of the Comprehensive Plan - Goal F: Promote Recreational and Cultural Activity.

Lot Configuration & Zoning Compliance

The proposed Hopewell Farm Second Addition contains 17.67 acres for the proposed church and residential units (see Final Plat, Attachment E). The number of lots would constitute twenty-nine total, with Lot 1 containing the proposed church site. Lots 2-29 are designated for the building of townhouses. A 30-foot-wide landscaped buffer has also been provided facing the adjoining R-1 zoned subdivisions to the east and south. No buffer yard is required between R-3 and R-1 zoned parcels. The developer is providing a buffer yard equivalent to that found in R-4 and R-5 multi-family residence zoning districts to separate structures greater than 35 feet from adjacent single-family zoned parcels.

Utilities

Utilities are present along Hopewell Avenue and Middle Road. Sanitary and storm sewer run through the middle of the parcel. Electrical service is available from the **east side of Middle Road and the south**

side of Hopewell Avenue. Water is available from the east side of Middle Road. Telecommunications connections originate from the east side of Middle Road.

Thoroughfare Plan & Access

The church will have one point of access at Hopewell Avenue. The access to the proposed townhome development will come from street connections to Hopewell Avenue. Butterfield Drive will be extended to connect to Hopewell Avenue and Wildcat Way will create an additional connection.

Pedestrian and Trail Access

A 10-foot-wide recreational trail is on the north side of Hopewell Avenue, and a 5-foot-wide sidewalk is on the south side of Hopewell Avenue. Five-foot-wide sidewalks are required on all new right-of-way created for development (Polster Place, Wildcat Way, Butterfield Drive).

Off-Street Parking

Off-street parking appears sufficient for both developments and will be verified at the Site Development Plan phase of the projects.

Stormwater Detention

Storm water detention is accommodated downstream in an outlot near Century Heights Tenth, Eleventh, and Twelfth Additions. Any water quality features or further stormwater detention requirements would need to be evaluated by the City Engineer.

Landscaping

The landscaping requirements are met with the tree count as shown on the landscape plan for the church. Landscaping for the townhouses shall be evaluated at the time of that site development plan submittal.

Lighting

Any lighting from the church will be required to be downcast on the site. Lighting will be evaluated at the site development plan stage.

Floodplain

A portion of Hopewell Farm Second Addition is separated by a drainageway which has been outlined on the original plat to contain the 100-year flood hazard area (see Final Plat and FEMA Flood Map, Attachments E and F). Outlots also separate the lots of record from the floodplain.

Staff Recommendation

Staff finds this plat to be compliant with State and City law and is of the concept shown at the proposed rezoning. Thus, we recommend approval with the following conditions:

1. Approval of the final plat does not waive any applicable city, state, or federal provisions as required by law.
2. Site development plan is required for approval. The site development plan should generally reflect those developments shown on the concept plan.

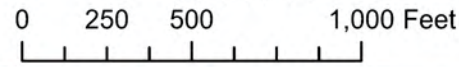
Respectfully submitted,

Greg Beck
City Planner



23-028 HOPEWELL FARM SECOND ADDITION FINAL PLAT

AERIAL



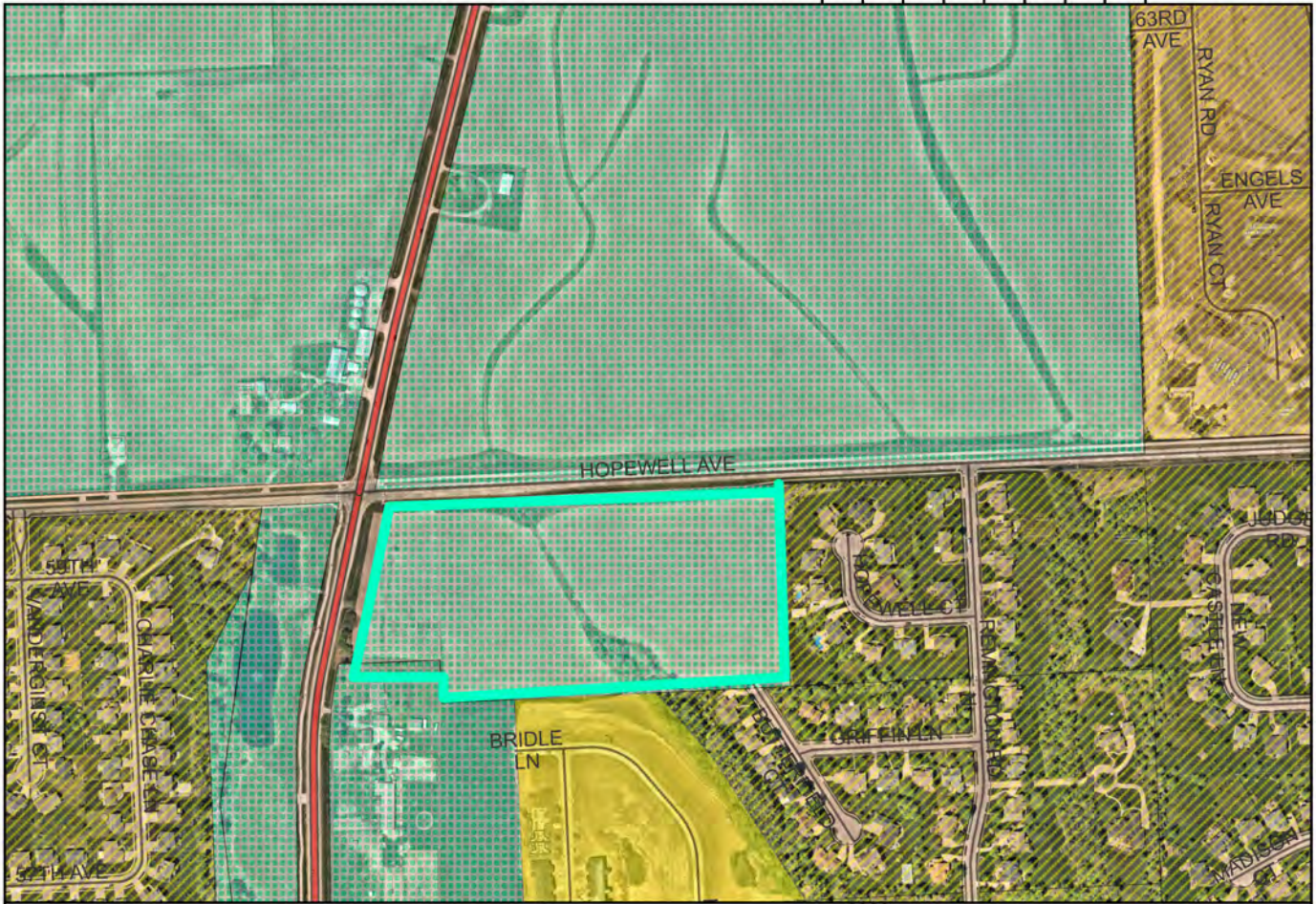
By Class
RDCLASS

- Alleyway/Access Road
- Bike Trail
- County Route
- Driveway
- Interstate
- Local road in unincorporated area
- Local road within incorporated area or Park View
- Major road
- Pedestrian trail/walkway
- Ramp

[. . .]

ZONING AERIAL

0 250 500 1,000 Feet



By Class

RDCLASS

- Alleyway/Access Road
- Bike Trail
- County Route
- Driveway
- Interstate
- Local road in unincorporated area
- Local road within incorporated area or Park View
- Major road
- Pedestrian trail/walkway
- Ramp
- State Highway
- US Highway
- <all other values>

■ City Limits

Current Zoning

ZONING

- A-1
- A-2
- C-1
- C-2
- C-3
- C-6
- C-7
- I-1
- I-2
- I-3
- PR-3

- PR-4
- PR-5
- PUD
- Parks
- R-1
- R-2
- R-3
- R-4
- R-5
- U-LI
- U-MI
- U-HI
- Creeks
- Ponds and Lakes

23-028 HOPEWELL FARM SECOND ADDITION FINAL PLAT
 FUTURE LAND USE AERIAL

0 250 500 1,000 Feet



By Class

RDCLASS

- Alleyway/Access Road
- Bike Trail
- County Route
- Driveway
- Interstate
- Local road in unincorporated area
- Local road within incorporated area or Park View
- Major road

- Pedestrian trail/walkway
 - Ramp
 - State Highway
 - US Highway
 - <all other values>
 - City Limits
- Bettendorf_FLU**
- BP
 - CCOM
 - GRNWX

- IND
- NCOM
- PRKOS
- PUBLIC
- UHI
- ULI
- UMI
- UR
- Creeks
- Ponds and Lakes

FINAL PLAT OF

HOPEWELL FARM FIRST ADDITION

TO THE CITY OF BETTENDORF, IOWA

BEING PART OF THE NORTHEAST QUARTER OF SECTION 11
TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5th P.M.

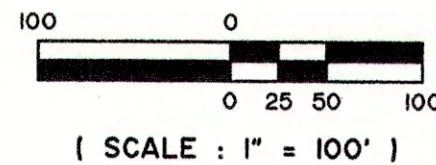
OWNER - DEVELOPER

HOPEWELL FARM, L.C.

3122 EAST 35th STREET COURT

DAVENPORT, IOWA

ATTN: ROB FICK



GENERAL NOTES

- IRON MONUMENTS FOUND SHOWN THUS (5/8"φ IRON PIN)
- IRON MONUMENTS SET SHOWN THUS (5/8"φ x 30" IRON PIN)
- CONCRETE MONUMENTS SET SHOWN THUS (6" x 6" x 48")
- DISTANCES SHOWN IN FEET AND DECIMAL PARTS THEREOF.
- SUBDIVISION CONTAINS 19.36 ACRES, MORE OR LESS.

FOR THIS SURVEY THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION II-78-4 WAS ASSUMED TO BEAR N.00°-01'-15"W.

BLANKET UNDERGROUND EASEMENTS GRANTED FOR SEWER, WATER, GAS, ELECTRIC, TELEPHONE AND CABLE T.V. SERVICES TO INDIVIDUAL STRUCTURES WITHIN THE LOT WHERE THE STRUCTURE IS LOCATED.

ALL STREET RIGHT OF WAYS ARE DEDICATED TO THE CITY OF BETTENDORF, IOWA, FOR STREET PURPOSES.

ALL IMPROVEMENTS TO BE INSTALLED IN ACCORDANCE WITH THE LATEST STANDARD SPECIFICATIONS OF THE CITY OF BETTENDORF, IOWA.

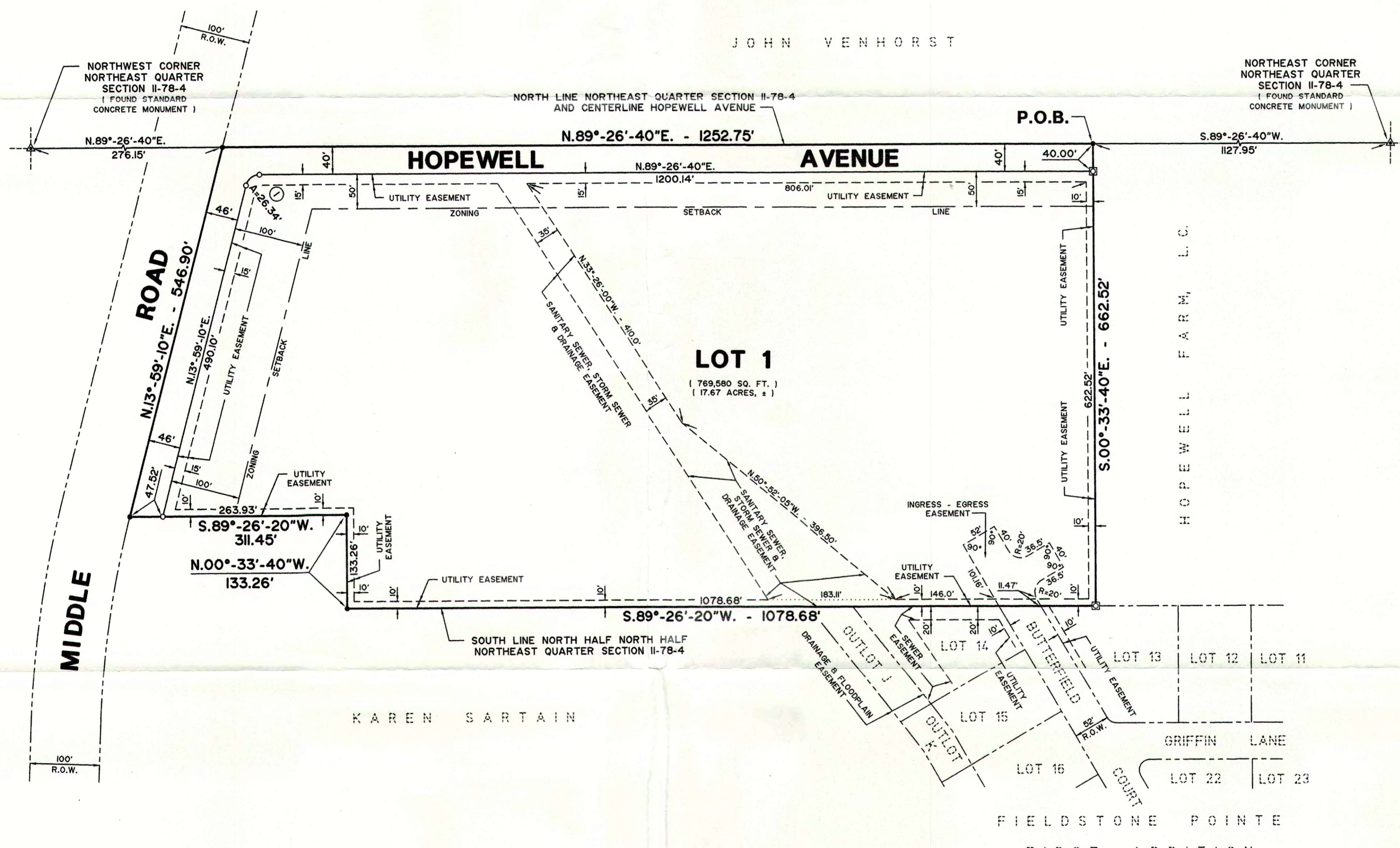
ZONING SETBACK LINES ARE BASED ON ZONING REQUIREMENTS AS OF THE DATE OF CITY COUNCIL APPROVAL. IN CASE OF CONFLICT BETWEEN LINES SHOWN AND FUTURE CODE REQUIREMENTS THE CODE REQUIREMENTS SHALL GOVERN.

ANY STORM SEWER SYSTEM WITHIN THE DESIGNATED SEWER AND DRAINAGE EASEMENT ACROSS LOT I SHALL BE DESIGNED TO ACCOMMODATE THE 100 YEAR STORM EVENT.

THE DEVELOPMENT ON LOT I MUST MEET THE MIDDLE ROAD CORRIDOR OVERLAY DISTRICT DEVELOPMENT STANDARDS.

THE MIDDLE ROAD ACCESS TO LOT I SHALL BE LIMITED TO RIGHT-IN / RIGHT-OUT AT SUCH TIME AS MIDDLE ROAD IS DEVELOPED WITH A MEDIAN BARRIER.

CURVE NUMBER	RADIUS	DELTA	ARC	CHORD	CHORD BEARING	TANGENT
1	20.00'	75°-27'-30"	26.34'	24.48'	N.51°-42'-55"E.	15.47'



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Land Surveyor under the laws of the State of Iowa.

Signature: *David L. Meyer*
 David L. Meyer, P.E. & L.S., License Number 7222
 Date: OCTOBER 31, 2003
 My license renewal date is December 31, 2004.

THIS SHEET ONLY
 Pages or sheets covered by this seal:



QWEST COMMUNICATIONS	MIDAMERICAN ENERGY COMPANY	IOWA-AMERICAN WATER CO.	MEDIACOM	PLAN & ZONE COMMISSION	CITY OF BETTENDORF, IOWA
BY <i>Bob Scott</i>	BY <i>Mike Helix</i>	BY <i>John J. DuBois</i>	BY <i>Charles Huntzinger</i>	BY <i>Robert H. Gallagher</i>	BY <i>Debra P. Leach</i>
DATE <u>11-25-2003</u>	DATE <u>11-25-03</u>	DATE <u>11/25/03</u>	DATE <u>11/25/03</u>	DATE <u>12/18/03</u>	DATE <u>12-17-03</u>

APPROVED SUBJECT TO ENCUMBRANCES OF RECORD BY
MIDAMERICAN ENERGY COMPANY

PREPARED BY
VERBEKE - MEYER
CONSULTING ENGINEERS, P.C.
 DAVENPORT, IOWA
 VMCE 03259

FINAL PLAT HOPEWELL FARM SECOND ADDITION BEING A REPLAT OF HOPEWELL FARM FIRST ADDITION BETTENDORF, IOWA

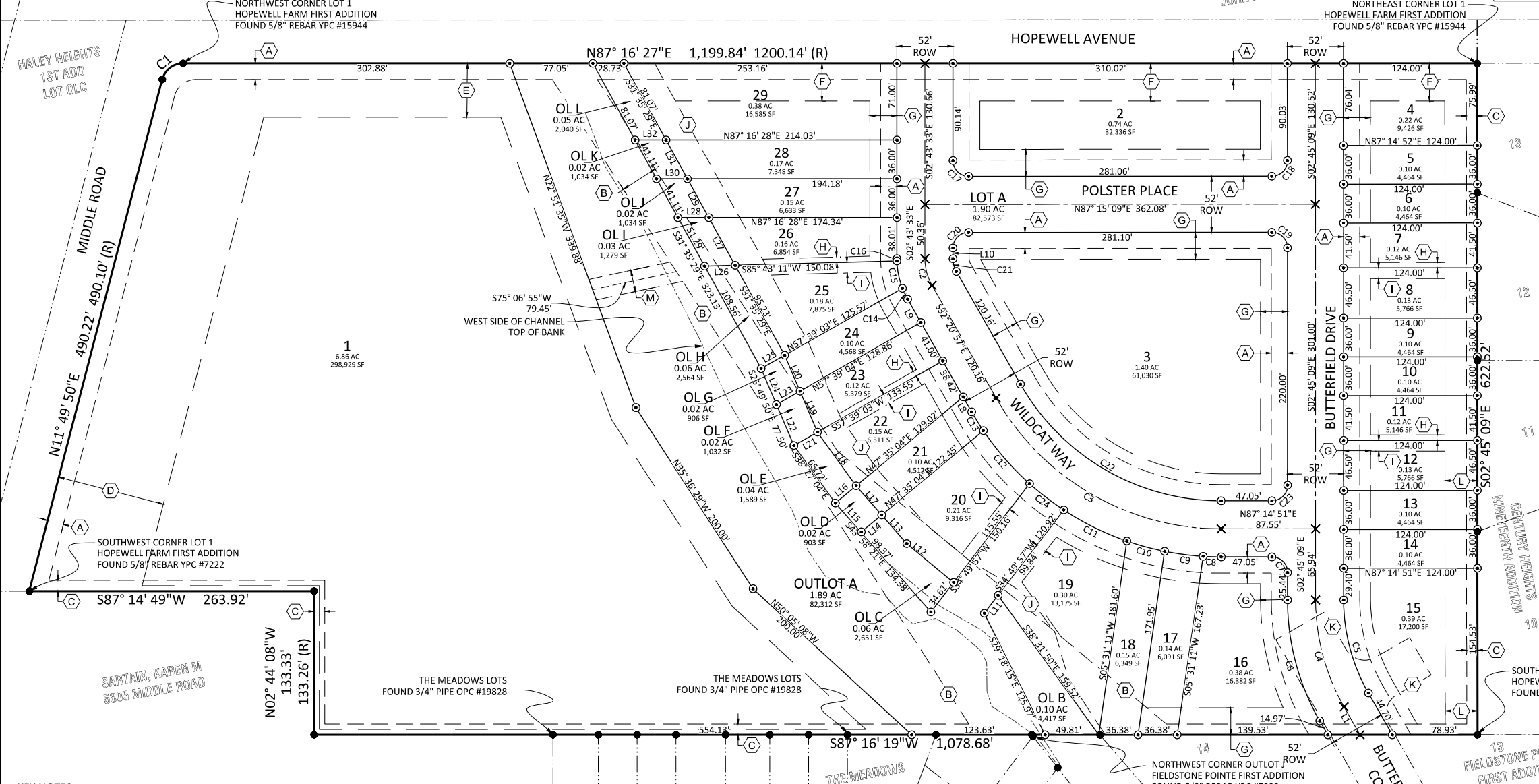
OWNER:
FIRST ASSEMBLY OF GOD
1811 18TH ST
BETTENDORF, IA 52722

APPLICANT:
CT CREEK
1805 STATE ST STE 103
BETTENDORF, IA 52722

PREPARED BY:
AXIOM CONSULTANTS, LLC
60 E. COURT STREET, UNIT 3
IOWA CITY, IOWA 52240

LEGAL DESCRIPTION:
ALL OF LOT 1 OF HOPEWELL FARMS FIRST ADDITION AS RECORDED IN FILE # 2003-64452, NOW IN AND FORMING A PART OF THE CITY OF BETTENDORF, SCOTT COUNTY, IOWA
DESCRIBED AREA CONTAINS 17.67 ACRES AND IS SUBJECT TO EASEMENTS AND OTHER RESTRICTIONS OF RECORD.

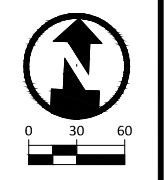
FOR RECORDER'S USE ONLY		RECORDER'S INDEX	
COUNTY: SCOTT		SECTION: 11-178N-R4E	
QUARTER SECTION: N 1/2 NE 1/4		CITY: BETTENDORF	
SUBDIVISION: HOPEWELL FARM 2ND ADD		BLOCK: NA	
LOT(S): NA			



LINE #	LENGTH	BEARING
L1	29.84	S32° 28' 52" E
L2	29.95	N87° 16' 19" E
L3	29.95	N87° 16' 19" E
L4	26.00	N87° 16' 27" E
L5	26.00	N87° 16' 27" E
L6	26.00	N87° 16' 27" E
L7	26.00	N87° 16' 27" E
L8	15.90	N32° 20' 57" W
L9	24.84	N32° 20' 57" W
L10	9.87	S02° 43' 33" E
L11	21.08	S34° 49' 57" W
L12	56.38	S53° 02' 06" E
L13	35.29	S43° 58' 21" E
L14	25.08	N47° 35' 04" E
L15	36.01	S43° 58' 21" E
L16	25.08	N47° 35' 04" E
L17	36.01	S43° 58' 21" E
L18	61.32	S38° 27' 04" E
L19	41.27	S25° 49' 50" E
L20	36.23	S25° 49' 50" E
L21	25.16	S57° 39' 03" W
L22	41.27	S25° 49' 50" E
L23	25.16	N57° 39' 04" E
L24	36.23	S25° 49' 50" E
L25	25.16	N57° 39' 03" E
L26	28.32	S85° 43' 11" W
L27	50.41	S31° 35' 29" E
L28	28.73	N87° 16' 28" E
L29	41.11	S31° 35' 29" E
L30	28.73	N87° 16' 28" E
L31	41.11	S31° 35' 29" E
L32	28.73	N87° 16' 28" E

CURVE #	LENGTH	RADIUS	DELTA	CHORD DIR.	CHORD LEN.
C1	26.20	20.00	75°02'37"	N49° 37' 05" E	24.36
C2	25.85	50.00	29°37'26"	S17° 32' 15" E	25.56
C3	253.02	240.00	60°24'12"	S62° 33' 03" E	241.46
C4	103.77	200.00	29°43'43"	S17° 37' 00" E	102.61
C5	90.28	174.00	29°43'43"	S17° 37' 00" E	89.27
C6	117.26	226.00	29°43'43"	N17° 37' 00" W	115.95
C7	22.78	14.50	90°00'00"	N47° 45' 09" W	20.51
C8	16.77	266.00	3°36'41"	S89° 03' 12" W	16.76
C9	36.03	266.00	7°45'39"	N85° 15' 38" W	36.00
C10	36.30	266.00	7°49'08"	N77° 28' 14" W	36.27
C11	65.37	266.00	14°04'54"	N66° 31' 13" W	65.21
C12	65.37	266.00	14°04'54"	N43° 48' 53" W	65.21
C13	20.54	266.00	4°25'29"	N34° 33' 41" W	20.54
C14	11.20	76.00	8°26'25"	N28° 07' 44" W	11.19
C15	26.04	76.00	19°37'43"	N14° 05' 40" W	25.91
C16	2.06	76.00	1°33'16"	N03° 30' 11" W	2.06

CURVE #	LENGTH	RADIUS	DELTA	CHORD DIR.	CHORD LEN.
C17	22.78	14.50	90°01'19"	N47° 44' 12" W	20.51
C18	22.78	14.50	90°00'17"	S42° 15' 00" W	20.51
C19	22.78	14.50	89°59'43"	N47° 45' 00" W	20.51
C20	22.77	14.50	89°58'41"	S42° 15' 48" W	20.50
C21	12.41	24.00	29°37'24"	S17° 32' 15" E	12.27
C22	225.61	214.00	60°24'12"	S62° 33' 03" E	215.30
C23	22.78	14.50	90°00'00"	N42° 14' 51" E	20.51
C24	40.04	266.00	8°37'27"	N55° 10' 03" W	40.00

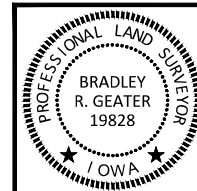
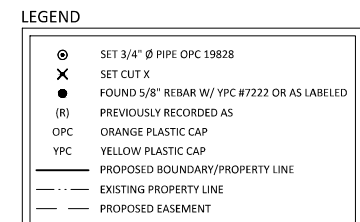


REV	DATE	DESCRIPTION OF CHANGES

- KEY NOTES:**
- (A) 15' PUBLIC UTILITY EASEMENT
 - (B) SANITARY SEWER, STORM SEWER & DRAINAGE EASEMENT, BK2003;PG 64452
 - (C) 10' UTILITY EASEMENT
 - (D) 100' ZONING SETBACK
 - (E) 50' ZONING SETBACK
 - (F) 25' ZONING SETBACK
 - (G) 25' BUILDING FRONT AND REAR SETBACK
 - (H) 5' BUILDING SIDE SETBACK (TYP)
 - (I) 10' BUILDING SIDE SETBACK (TYP)
 - (J) 50' BUFFER FROM TOP OF BANK/OVERLAND FLOW EASEMENT
 - (K) INGRESS/EGRESS EASEMENT TO BE VACATED
 - (L) 30' SETBACK
 - (M) 20' PRIVATE SANITARY SEWER EASEMENT

- GENERAL NOTES:**
1. BASIS OF BEARINGS IS THE IOWA STATE PLANE COORDINATE SYSTEM SOUTH ZONE NAD 83. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS AND ROADWAYS OF RECORD.
 2. NO INVESTIGATION CONCERNING ENVIRONMENTAL AND SUBSURFACE CONDITIONS, OR FOR THE EXISTENCE OF UNDERGROUND CONTAINERS, STRUCTURES OR FACILITIES WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY WAS MADE AS A PART OF THIS SURVEY.
 3. NO INVESTIGATION WAS MADE AS A PART OF THIS SURVEY TO DETERMINE OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITIES OR MUNICIPAL FACILITIES, EXCEPT AS NOTED. CALL IOWA ONE-CALL AT 1-800-292-8989 FOR INFORMATION REGARDING THESE UTILITIES OR FACILITIES.
 4. DISTANCES ARE LISTED IN FEET AND DECIMAL PART OF A FOOT.
 5. ZONING SETBACK LINES ARE BASED ON ZONING REQUIREMENTS AS OF THE DATE OF CITY COUNCIL APPROVAL. IN CASE OF CONFLICT BETWEEN LINES SHOWN AND FUTURE CODE REQUIREMENTS THE CODE REQUIREMENTS SHALL GOVERN.
 6. PLAT NOTES ESTABLISH REQUIREMENTS FOR HOW A SUBDIVISION WILL DEVELOP. HOWEVER, THE CITY RESERVES THE RIGHT IN ITS SOLE DISCRETION TO ALTER OR AMEND ANY PLAT NOTE, OR TO SELL OR VACATE ANY RIGHT OF WAY OR UTILITY DEDICATED WITHIN THE PLAT. FURTHER THE CITY RESERVES THE RIGHT UPON REQUEST OF THE OWNER TO RELOCATE ANY EASEMENT, ALTER LOT BOUNDARIES OR ALLOW GROUND TO BE REPLATTED.
 7. BLANKET UNDERGROUND EASEMENTS GRANTED FOR ALL PRIMARY AND SECONDARY ELECTRIC CABLES, PAD MOUNTED TRANSFORMERS, ELECTRIC TRANSFORMERS, PRIMARY CABLE, GAS SERVICE, WATER SERVICE, SEWER LATERALS, TELEPHONE SERVICE AND CABLE T.V. TO INDIVIDUAL STRUCTURES AND STREET LIGHTS.

9. THE OWNERS OF LOTS WITH DRAINAGE EASEMENTS SHALL MAINTAIN A STORM WATER PASSAGEWAY WITHIN THE AREA PLATTED AS A "DRAINAGE EASEMENT". THIS AREA SHALL BE MAINTAINED AS A LAWN FREE OF STRUCTURES, BUSHES, TREES, AND OTHER LANDSCAPING THAT WOULD IMPEDE THE SURFACE FLOW OF STORM WATER. FUTURE VARIANCES SHALL NOT BE GIVEN TO SUCH STRUCTURES. FENCES SHALL NOT BE ALLOWED WITHIN ANY DRAINAGE EASEMENT OR DRAINAGEWAY.
10. ALL INTERIOR ROADS SHALL HAVE SIDEWALK ON BOTH SIDES.
11. ALL DEVELOPED LOTS ASSOCIATED WITH THIS PLAT TO CONTRIBUTE TO THE EXISTING REGIONAL DETENTION FACILITY IN AN AMOUNT TO BE CALCULATED BY THE CITY ENGINEER. OWNERS OF LOT 2, LOTS 4-15, AND LOTS 16-29 ARE PROHIBITED FROM ENCRDACHING INTO THE REAR YARD SETBACK AND MAY NOT MAKE A VARIANCE REQUEST TO DO SO.
12. LOTS 19-29 CANNOT BE SOLD WITHOUT THE ADJOINING OUTLOTS B-L, RESPECTIVELY, BEING INCLUDED AND NO STRUCTURES ARE PERMITTED ON THE OUTLOTS.
13. THE ZONING FOR THE LOTS SHOWN ON THE SITE IS R-3 AT TIME OF PLATTING. REQUIRED SETBACKS FOR THE R-3 ZONING ARE:
FRONT 25' SIDE 5'/10' STREET SIDE 25' REAR 25'
14. THE INTENDED USE OF THE OUTLOT AND LETTERED LOTS WITHIN THE PLAT ARE AS FOLLOWS:
OUTLOT INTENDED USE RESPONSIBLE PARTY
OUTLOT A AREA FOR DRAINAGE HOMEOWNER'S ASSOCIATION
OUTLOT B-L FLOODPLAIN/DRAINAGE EASEMENT LOT OWNER
LOT A RIGHT-OF-WAY DEDICATION CITY OF BETTENDORF



HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

BRADLEY R. GEATER, P.L.S., P.E.
LICENSE NUMBER 19828

DATE _____

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2023.

PAGES OR SHEETS COVERED BY THIS SEAL: THIS PLAT

CITY OF BETTENDORF

BY _____ DATE _____

ATTEST _____ DATE _____

PLANNING AND ZONING

BY _____ DATE _____

UTILITY APPROVALS

CENTURYLINK	DATE
MIDAMERICAN ENERGY	DATE
MEDIACOM	DATE
IOWA AMERICAN WATER COMPANY	DATE
METRONET	DATE

NOT FOR CONSTRUCTION

PROJECT NAME: HOPE CHURCH, IOWA
BETTENDORF, IOWA

CLIENT NAME: CT CREEK

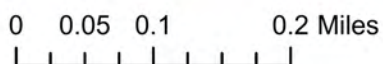
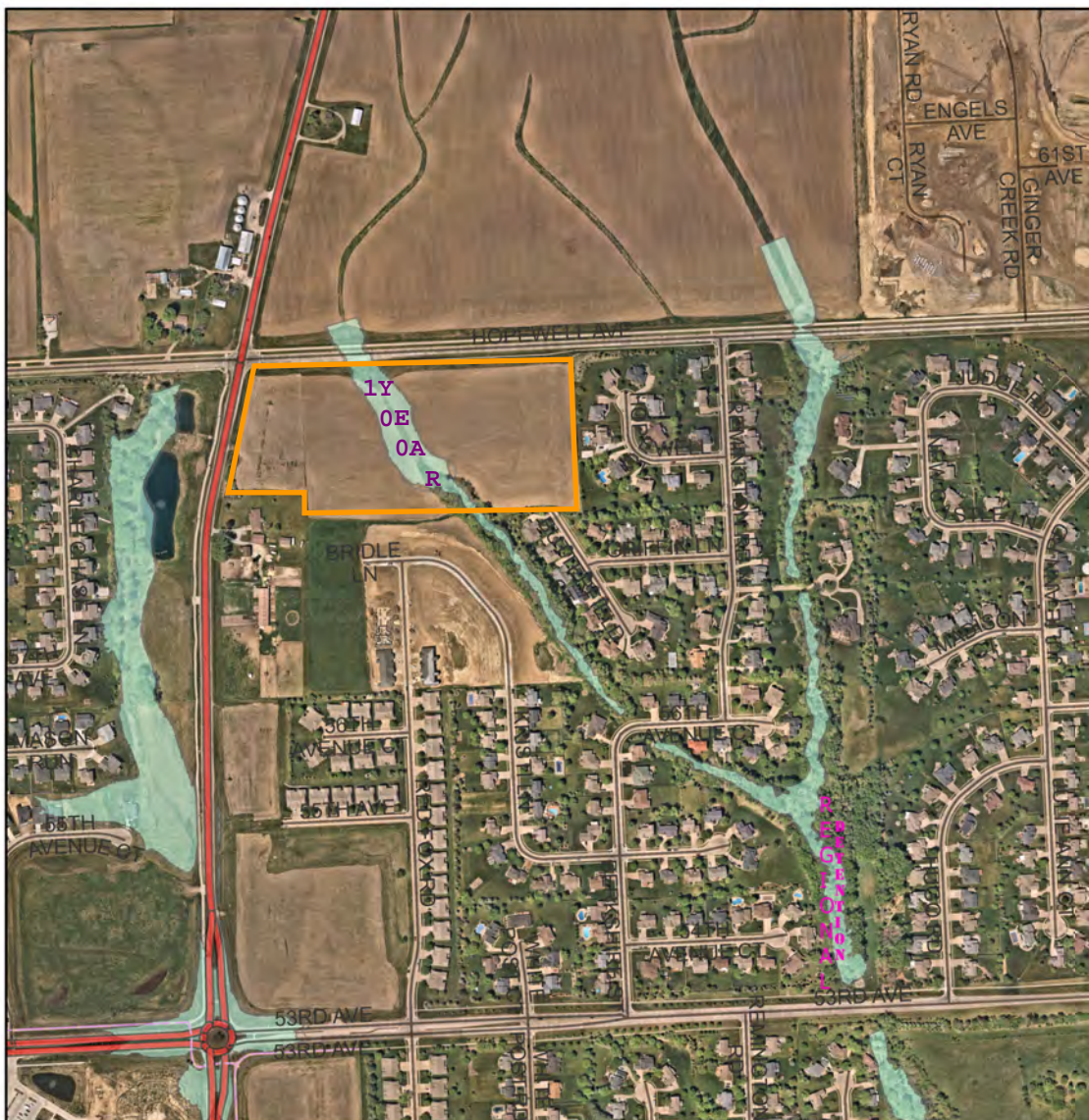
DESIGNED, DETAILED, AND CHECKED BY: BOELK

PROJECT NO.: 230008

SHEET NO.: FINAL PLAT

SHEET NUMBER: 1 OF 1

FEMA FLOOD HAZARD AERIAL



By Class

RDCLASS

- Alleyway/Access Road
- Bike Trail
- County Route
- Driveway
- Interstate
- Local road in unincorporated area
- Local road within incorporated area or Park View
- Major road
- Pedestrian trail/walkway
- Ramp
- State Highway
- US Highway

<all other values>

City Limits

Creeks

Ponds and Lakes

Flood Zone

FLD_ZONE

- 0.2 PCT ANNUAL CHANCE FLOOD HAZARD
- A
- AE
- AREA NOT INCLUDED
- X
- X PROTECTED BY LEVEE
- <all other values>

STAFF REPORT

Subject: Hopewell Farm Second Addition -
Site Development Plan
Author: Greg Beck
Department: Community Development



Case No.: 23-029
Request: Site Development Plan for Lot 1, Hopewell Farm Second Addition
Location: 5019 Hopewell Avenue – south of Hopewell Avenue and east of Middle Road
Legal Description: Hopewell Farm First Addition - Parcel No. 841105101
Applicant: First Assembly of God, Hope Church
Current Zoning: A-1, Agricultural/Urban Reserve District
Proposed Zoning: R-3, Mixed Residential District
Future Land Uses: Urban Medium Intensity (west - church) Urban Low Intensity (east - townhouses)

Background Information & Facts

First Assembly of God, Hope Church has submitted a request for approval of a site development plan for a church to be located on Lot 1, Hopewell Farm Second Addition (see Aerial Map, Attachment A). The zoning is proposed as R-3, Mixed Residential District and the future land use designation is split between Urban Medium Intensity (west) and Urban Low Intensity (east) (see Zoning Map and Future Land Use Map, Attachments B and C). The petitioner is also proposing a replatting at this time of Hopewell Farm First Addition to accommodate the church on the west side of the proposed subdivision and townhouses on the east side of the subdivision (see Final Plats, Attachments D and E).

Future Land Use and Comprehensive Plan

Both future land use designations permit the present rezoning to the R-3, Mixed Residential District which permits the church and townhouse developments. The proposed development is consistent with Comprehensive Plan Goal D: Provide Housing Options and Reinvest in Existing Neighborhoods and Goal G: Attract Young People. Goal of the Comprehensive Plan - Goal F: Promote Recreational and Cultural Activity.

Lot Configuration & Zoning Compliance

The proposed Hopewell Farm Second Addition contains 17.67 acres for the proposed church and residential units (see Final Plat, Attachment E). The number of lots would constitute twenty-nine total, with Lot 1 containing the proposed church site. The proposed church has an entry from Hopewell Avenue (see Site Development Plan, Attachment F). The church shall face Middle Road (see Elevations, Attachment G).

Utilities

Utilities are present along Hopewell Avenue and Middle Road. Sanitary and storm sewer run through the middle of the parcel. Electrical service is available from the east side of Middle Road and the south side of

Hopewell Avenue. Water is available from the east side of Middle Road. Telecommunications connections originate from the east side of Middle Road.

Thoroughfare Plan & Access

The church will have one access to Hopewell Avenue, having removed access to Middle Road. The residential area would be accessed from two points north from Hopewell Avenue and from the south, via extension of Butterfield Court from Fieldstone Pointe Addition.

Pedestrian and Trail Access

A 10-foot-wide recreational trail is on the north side of Hopewell Avenue, and a 5-foot-wide sidewalk is on the south side of Hopewell Avenue. All interior sidewalks are required to be 5 feet in width.

Off-Street Parking

Requirements for parking were met at 154 spaces, which is slightly above what is required. All parking spaces shall be paved before a certificate of occupancy is granted.

Stormwater Detention

Storm water detention is accommodated downstream in an outlot near Century Heights Tenth, Eleventh, and Twelfth Additions. Any water quality features or further stormwater detention requirements would need to be evaluated by the City Engineer.

Landscaping

Landscaping has been placed in streetscape areas and drive areas per the Landscape Ordinance (see Landscape Plan, Attachment H). Twenty-nine tree factors are required in the streetscape and eight are required in the parking lot. The developer furnished double tree factors with fifteen, 4-inch caliper trees accounting for thirty-tree factors. Four other tree factors are given for 2-inch caliper trees. Two tree species are also being planted with 3-inch calipers to finish out the overall tree count.

Lighting

Lighting intensities are shown on the lighting plan (see Lighting Plan, Attachment I). All lighting shall be required to be downcast on the parcel.

Floodplain

A portion of Hopewell Farm First Addition is separated by a drainageway which has been outlined on the original plat to contain the 100-year flood hazard area (see Final Plat and FEMA Flood Map, Attachments E and J). Outlots also separate the lots of record from the flood plain.

Staff Recommendation

The site development is complaint with City code. Staff recommends approval with the following standard conditions:

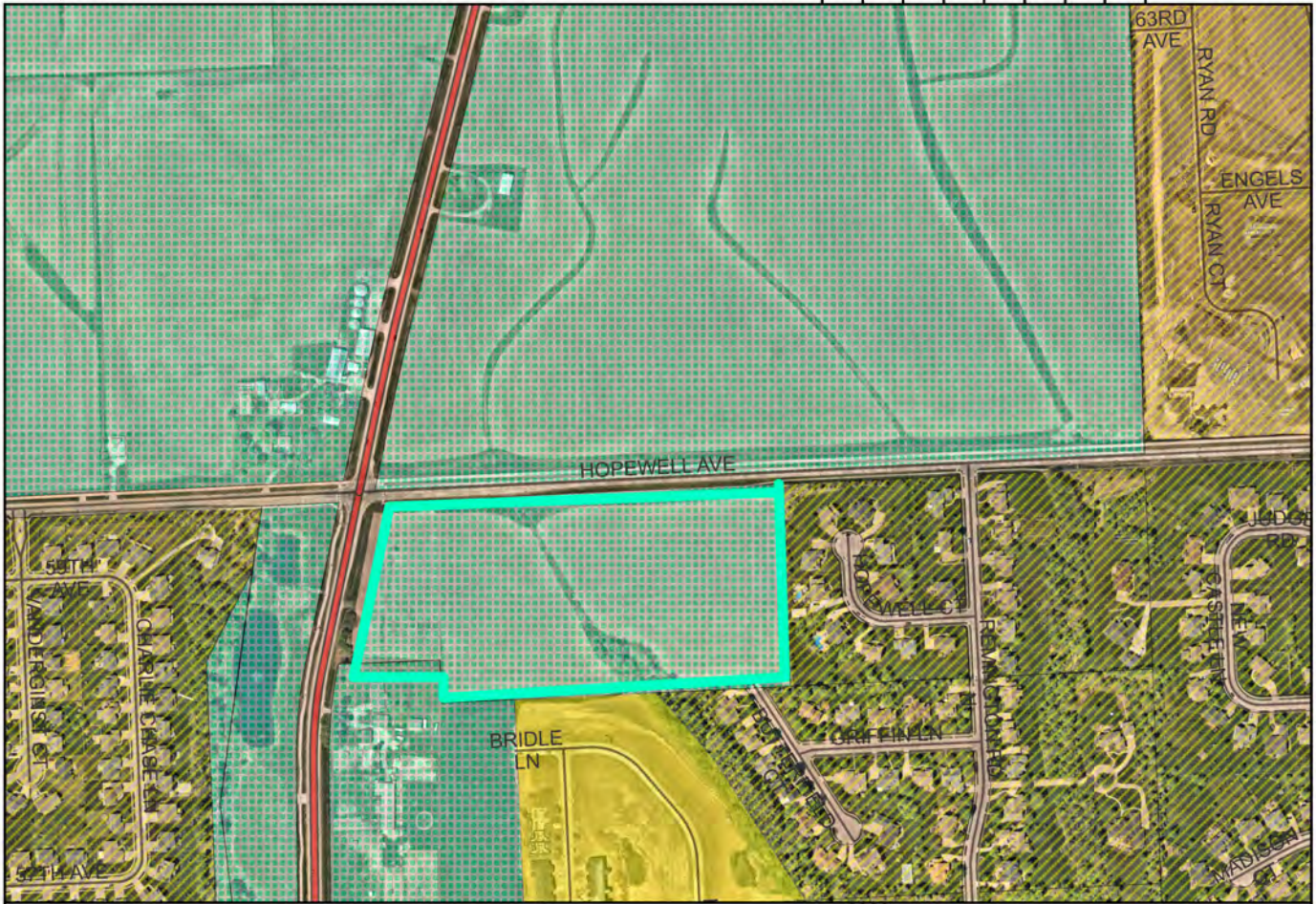
1. Approval of the final plat does not waive any applicable city, state, or federal provisions as required by law.
2. Before a Certificate of Occupancy is issued, the parking lot must be surfaced and striped.

Respectfully submitted,

Greg Beck
City Planner

ZONING AERIAL

0 250 500 1,000 Feet



By Class

RDCLASS

- Alleyway/Access Road
- Bike Trail
- County Route
- Driveway
- Interstate
- Local road in unincorporated area
- Local road within incorporated area or Park View
- Major road
- Pedestrian trail/walkway
- Ramp
- State Highway
- US Highway
- <all other values>

■ City Limits

Current Zoning

ZONING

- A-1
- A-2
- C-1
- C-2
- C-3
- C-6
- C-7
- I-1
- I-2
- I-3
- PR-3

- PR-4
- PR-5
- PUD
- Parks
- R-1
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Bettendorf_FLU

- BP
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FINAL PLAT OF

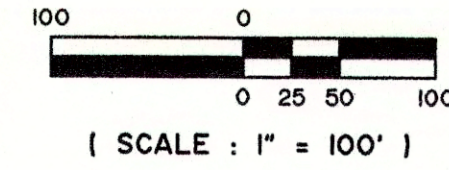
HOPEWELL FARM FIRST ADDITION

TO THE CITY OF BETTENDORF, IOWA

BEING PART OF THE NORTHEAST QUARTER OF SECTION 11
TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5th P.M.

OWNER - DEVELOPER

HOPEWELL FARM, L.C.
3122 EAST 35th STREET COURT
DAVENPORT, IOWA
ATTN: ROB FICK



GENERAL NOTES

IRON MONUMENTS FOUND SHOWN THUS (5/8"φ IRON PIN)
IRON MONUMENTS SET SHOWN THUS (5/8"φ x 30" IRON PIN)
CONCRETE MONUMENTS SET SHOWN THUS (6" x 6" x 48")
DISTANCES SHOWN IN FEET AND DECIMAL PARTS THEREOF.
SUBDIVISION CONTAINS 19.36 ACRES, MORE OR LESS.

FOR THIS SURVEY THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 11-78-4 WAS ASSUMED TO BEAR N.00°-01'-15"W.

BLANKET UNDERGROUND EASEMENTS GRANTED FOR SEWER, WATER, GAS, ELECTRIC, TELEPHONE AND CABLE T.V. SERVICES TO INDIVIDUAL STRUCTURES WITHIN THE LOT WHERE THE STRUCTURE IS LOCATED.

ALL STREET RIGHT OF WAYS ARE DEDICATED TO THE CITY OF BETTENDORF, IOWA, FOR STREET PURPOSES.

ALL IMPROVEMENTS TO BE INSTALLED IN ACCORDANCE WITH THE LATEST STANDARD SPECIFICATIONS OF THE CITY OF BETTENDORF, IOWA.

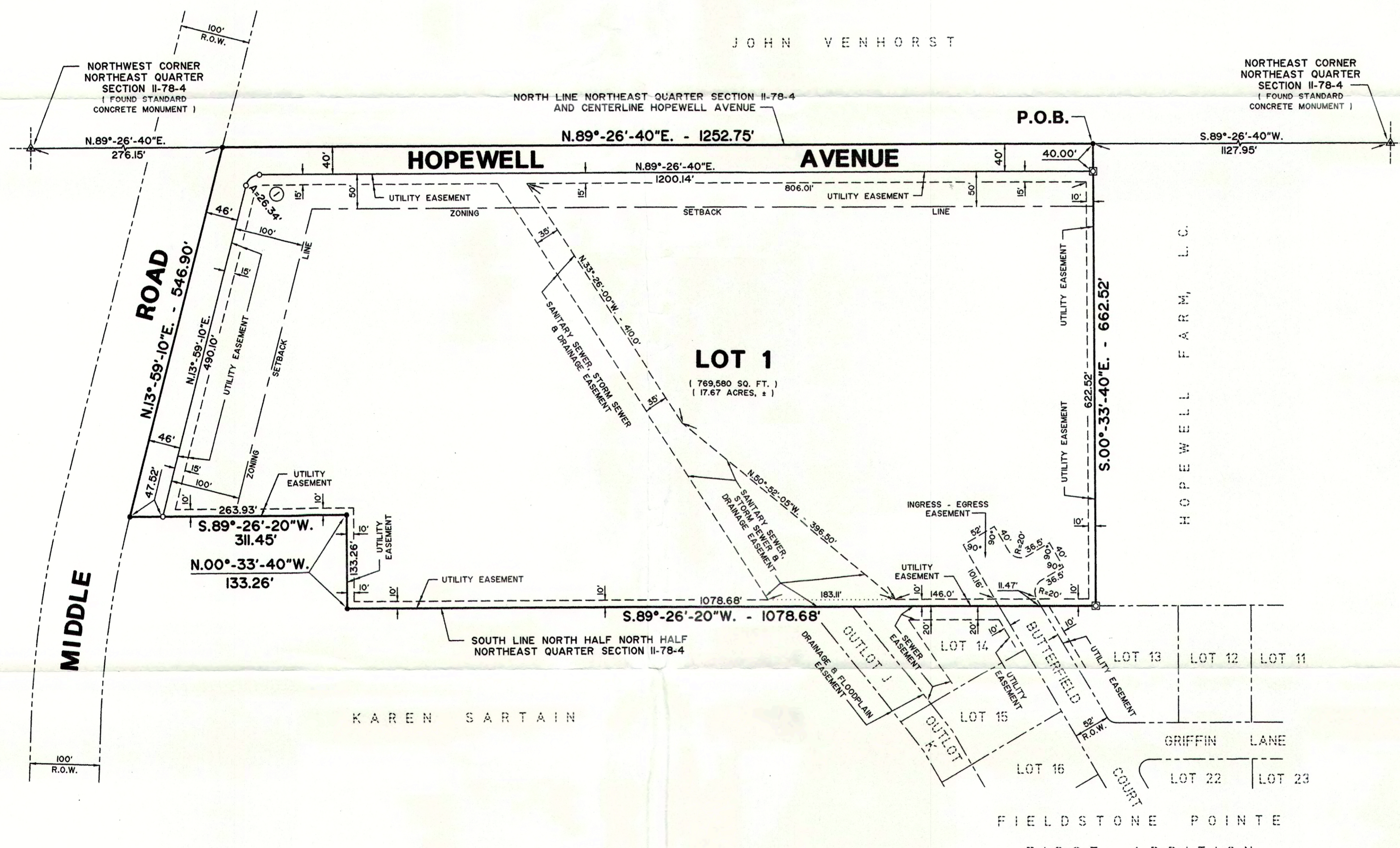
ZONING SETBACK LINES ARE BASED ON ZONING REQUIREMENTS AS OF THE DATE OF CITY COUNCIL APPROVAL. IN CASE OF CONFLICT BETWEEN LINES SHOWN AND FUTURE CODE REQUIREMENTS THE CODE REQUIREMENTS SHALL GOVERN.

ANY STORM SEWER SYSTEM WITHIN THE DESIGNATED SEWER AND DRAINAGE EASEMENT ACROSS LOT 1 SHALL BE DESIGNED TO ACCOMMODATE THE 100 YEAR STORM EVENT.

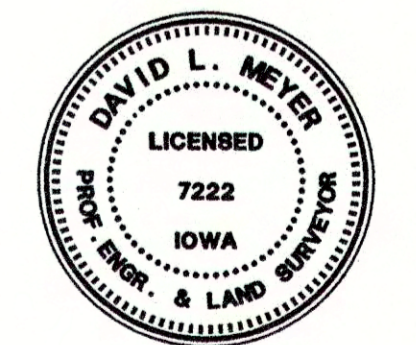
THE DEVELOPMENT ON LOT 1 MUST MEET THE MIDDLE ROAD CORRIDOR OVERLAY DISTRICT DEVELOPMENT STANDARDS.

THE MIDDLE ROAD ACCESS TO LOT 1 SHALL BE LIMITED TO RIGHT-IN / RIGHT-OUT AT SUCH TIME AS MIDDLE ROAD IS DEVELOPED WITH A MEDIAN BARRIER.

CURVE NUMBER	RADIUS	DELTA	ARC	CHORD	CHORD BEARING	TANGENT
1	20.00'	75°-27'-30"	26.34'	24.48'	N.51°-42'-55"E.	15.47'



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Land Surveyor under the laws of the State of Iowa.
Signature: *David L. Meyer*
David L. Meyer, P.E. & L.S., License Number 7222
Date: OCTOBER 31, 2003
My license renewal date is December 31, 2004.
THIS SHEET ONLY
Pages or sheets covered by this seal:



QWEST COMMUNICATIONS	MIDAMERICAN ENERGY COMPANY	IOWA-AMERICAN WATER CO.	MEDIACOM	PLAN & ZONE COMMISSION	CITY OF BETTENDORF, IOWA
BY <i>Bob Scott</i>	BY <i>Mike Helix</i>	BY <i>John J. DuBois</i>	BY <i>Charles Huntzinger</i>	BY <i>Robert H. Gallagher</i>	BY <i>Debra P. Leach</i>
DATE <u>11-25-2003</u>	DATE <u>11-25-03</u>	DATE <u>11/25/03</u>	DATE <u>11/25/03</u>	DATE <u>12/18/03</u>	DATE <u>12-17-03</u>



APPROVED SUBJECT TO ENCUMBRANCES OF RECORD BY MIDAMERICAN ENERGY COMPANY

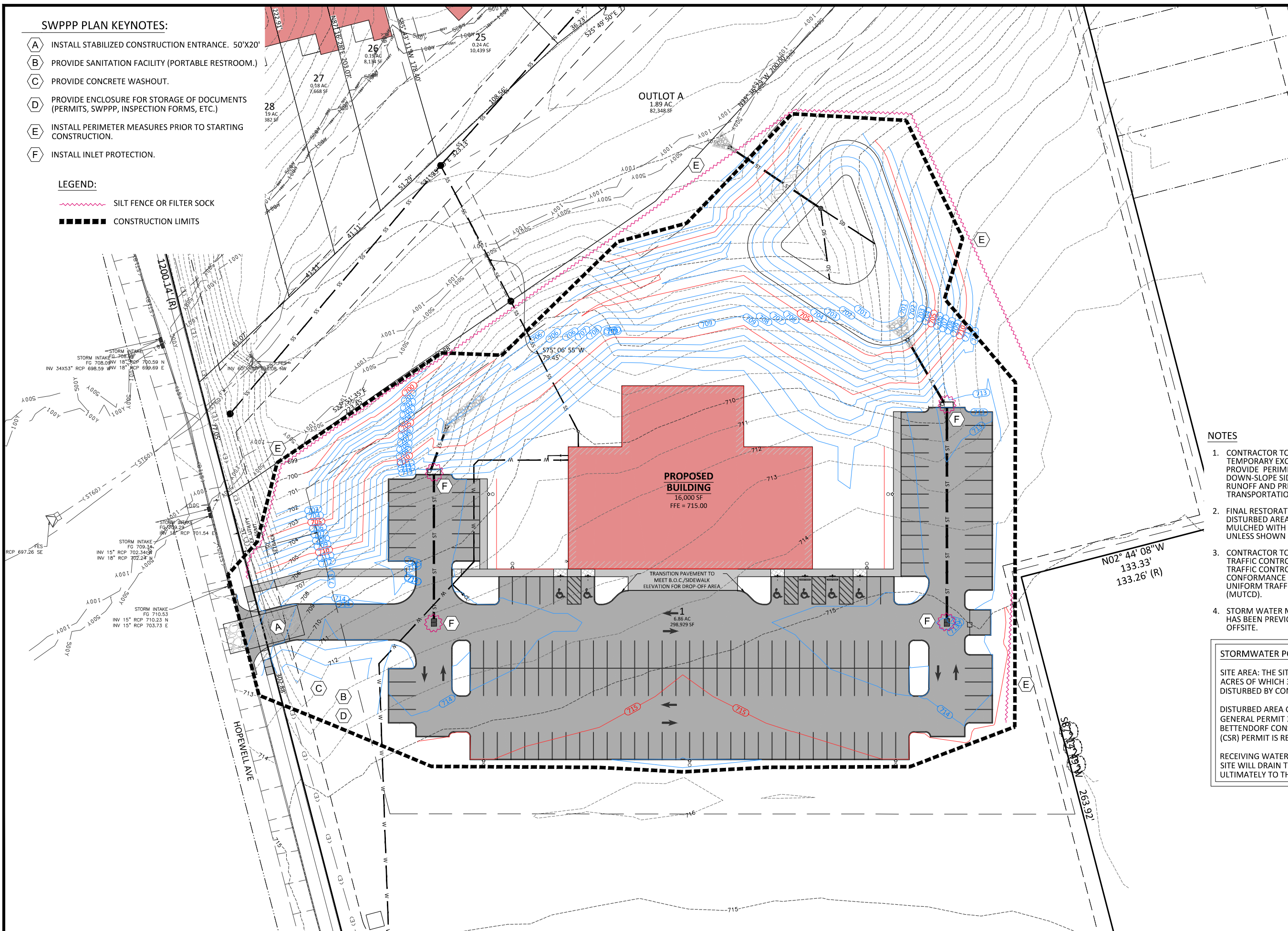
PREPARED BY
VERBEKE - MEYER
CONSULTING ENGINEERS, P.C.
DAVENPORT, IOWA
VMCE 03259

SWPPP PLAN KEYNOTES:

- A** INSTALL STABILIZED CONSTRUCTION ENTRANCE. 50'X20'
- B** PROVIDE SANITATION FACILITY (PORTABLE RESTROOM.)
- C** PROVIDE CONCRETE WASHOUT.
- D** PROVIDE ENCLOSURE FOR STORAGE OF DOCUMENTS (PERMITS, SWPPP, INSPECTION FORMS, ETC.)
- E** INSTALL PERIMETER MEASURES PRIOR TO STARTING CONSTRUCTION.
- F** INSTALL INLET PROTECTION.

LEGEND:

-  SILT FENCE OR FILTER SOCK
-  CONSTRUCTION LIMITS



NOTES

1. CONTRACTOR TO PROVIDE STOCKPILE TEMPORARY EXCAVATION SPOILS ON SITE AND PROVIDE PERIMETER MEASURES ON DOWN-SLOPE SIDE OF PILE TO CONTAIN RUNOFF AND PREVENT SEDIMENT TRANSPORTATION.
2. FINAL RESTORATION OF ALL NON-PAVED DISTURBED AREAS TO BE SEEDED AND MULCHED WITH TYPE 1 LAWN MIXTURE UNLESS SHOWN OTHERWISE.
3. CONTRACTOR TO PROVIDE APPROPRIATE TRAFFIC CONTROL WHEN NECESSARY. TRAFFIC CONTROL MEASURES SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
4. STORM WATER MANAGEMENT FOR THIS SITE HAS BEEN PREVIOUSLY ACCOUNTED FOR OFFSITE.

STORMWATER POLLUTION PREVENTION:

SITE AREA: THE SITE IS APPROXIMATELY 6.86 ACRES OF WHICH 3.38 ACRES WILL BE DISTURBED BY CONSTRUCTION ACTIVITIES.

DISTURBED AREA GREATER THAN 1.00 ACRE, GENERAL PERMIT 2 (GP2) IS REQUIRED, BETTENDORF CONSTRUCTION SITE RUNOFF (CSR) PERMIT IS REQUIRED.

RECEIVING WATERS: THE DEVELOPMENT SITE WILL DRAIN TO PIGEON CREEK AND ULTIMATELY TO THE MISSISSIPPI RIVER.

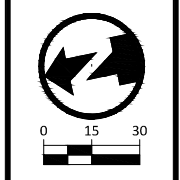
DRAWING LOG

REV	DATE	DESCRIPTION OF CHANGES
1	03-28-2023	CITY FIRST SUBMITTAL
2	04-28-2023	CLIENT OWNER PRICE SET
3	05-09-2023	RTC #2

PROJECT NAME: HOPE CHURCH
 BETTENDORF, IA 52722

SHEET NO.: 23-0008
 SHEET NUMBER: C-300

DESIGN PROFESSIONAL: BOELK



NOT FOR CONSTRUCTION



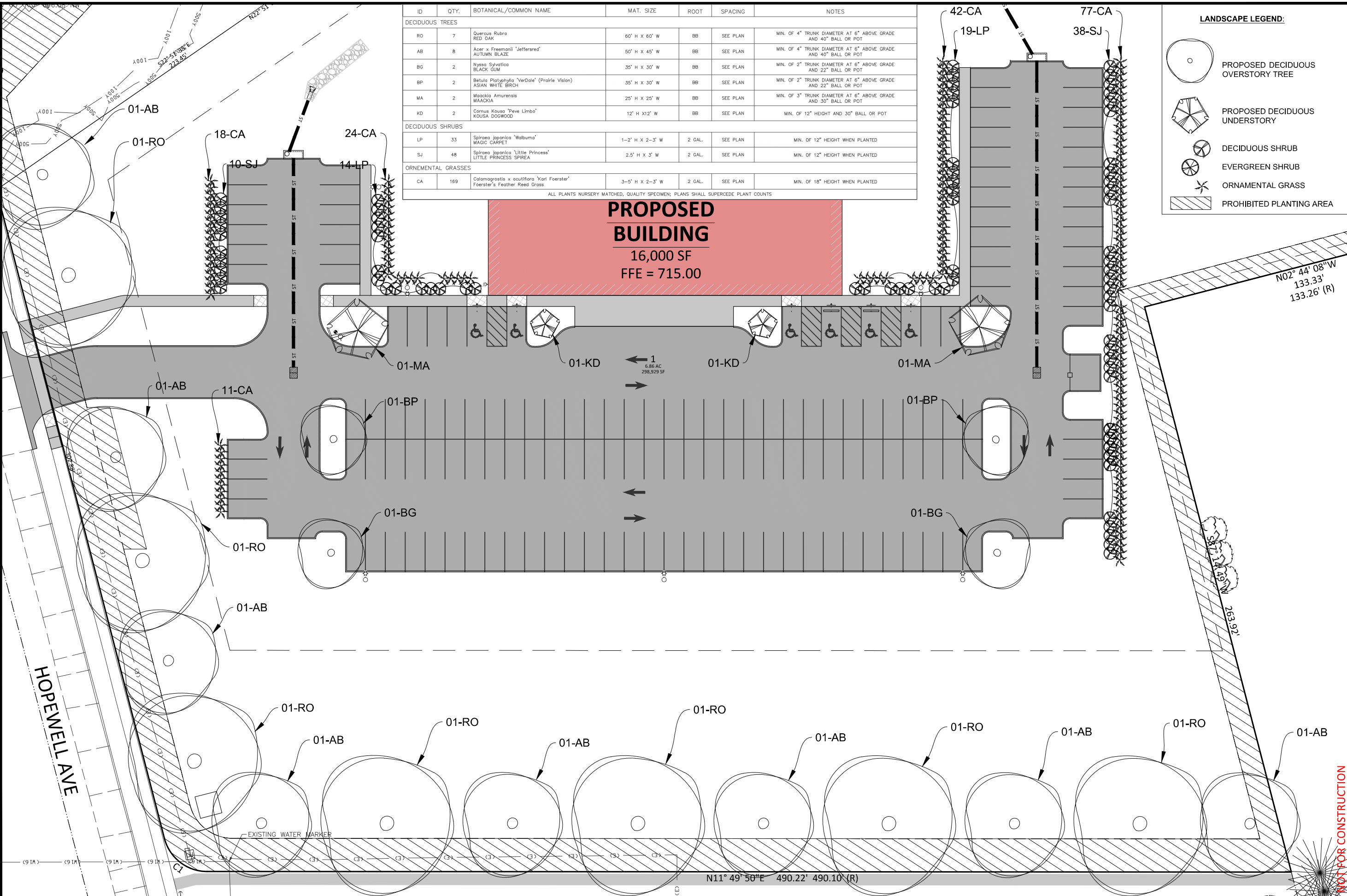
CONCEPTUAL RENDERING
HOPE CHURCH
2023.02.23

POINT BUILDERS
BUILDING INNOVATIVE SOLUTIONS

VANTAGE
ARCHITECTS

ID	QTY.	BOTANICAL/Common Name	MAT. SIZE	ROOT	SPACING	NOTES
DECIDUOUS TREES						
RO	7	Quercus Rubra RED OAK	60' H X 60' W	BB	SEE PLAN	MIN. OF 4" TRUNK DIAMETER AT 6" ABOVE GRADE AND 40" BALL OR POT
AB	8	Acer x Freemanii 'Jeffersred' AUTUMN BLAZE	50' H X 45' W	BB	SEE PLAN	MIN. OF 4" TRUNK DIAMETER AT 6" ABOVE GRADE AND 40" BALL OR POT
BG	2	Nyssa Sylvatica BLACK GUM	35' H X 30' W	BB	SEE PLAN	MIN. OF 2" TRUNK DIAMETER AT 6" ABOVE GRADE AND 22" BALL OR POT
BP	2	Betula Platyphylla 'VerDale' (Prairie Vision) ASIAN WHITE BIRCH	35' H X 30' W	BB	SEE PLAN	MIN. OF 2" TRUNK DIAMETER AT 6" ABOVE GRADE AND 22" BALL OR POT
MA	2	Maackia Amurensis MAACKIA	25' H X 25' W	BB	SEE PLAN	MIN. OF 3" TRUNK DIAMETER AT 6" ABOVE GRADE AND 30" BALL OR POT
KD	2	Cornus Kousa 'Peve Limbo' KOUSA DOGWOOD	12' H X 12' W	BB	SEE PLAN	MIN. OF 12" HEIGHT AND 30" BALL OR POT
DECIDUOUS SHRUBS						
LP	33	Spiraea japonica 'Walburna' MAGIC CARPET	1-2' H X 2-3' W	2 GAL.	SEE PLAN	MIN. OF 12" HEIGHT WHEN PLANTED
SJ	48	Spiraea japonica 'Little Princess' LITTLE PRINCESS SPIREA	2.5' H X 3' W	2 GAL.	SEE PLAN	MIN. OF 12" HEIGHT WHEN PLANTED
ORNEMENTAL GRASSES						
CA	169	Calamagrostis x acutiflora 'Karl Foerster' Foerster's Feather Reed Grass	3-5' H X 2-3' W	2 GAL.	SEE PLAN	MIN. OF 18" HEIGHT WHEN PLANTED

ALL PLANTS NURSERY MATCHED, QUALITY SPECIMEN; PLANS SHALL SUPERCEDE PLANT COUNTS



LANDSCAPE LEGEND:

- PROPOSED DECIDUOUS OVERSTORY TREE
- PROPOSED DECIDUOUS UNDERSTORY
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- ORNAMENTAL GRASS
- PROHIBITED PLANTING AREA

AXIOM CONSULTANTS
 ENGINEER: [Signature]
 WWW.AXIOM-CON.COM | (319) 519-6220

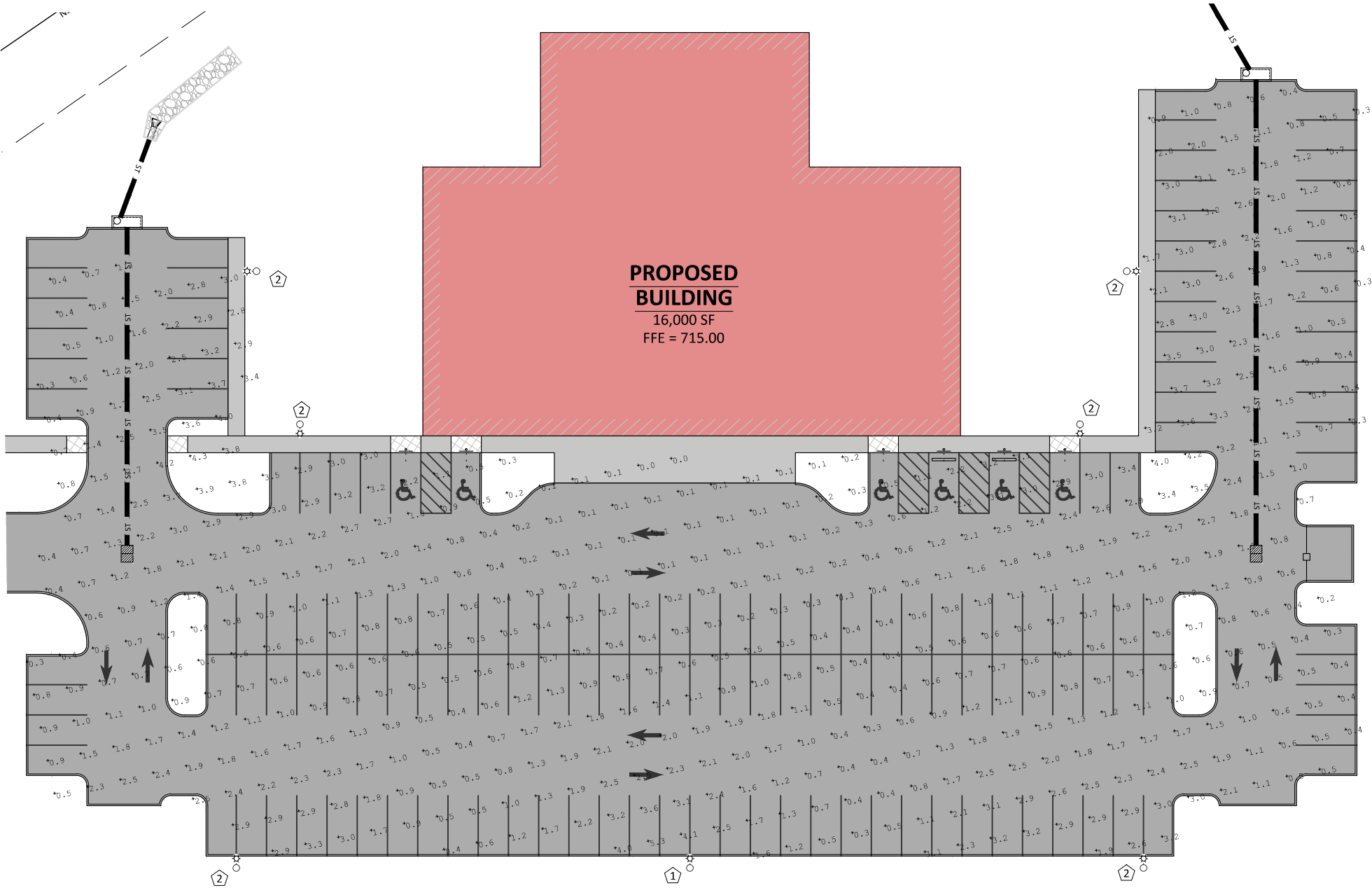
DRAWING LOG

REV	DATE	DESCRIPTION OF CHANGES
1	03-28-2023	CITY FIRST SUBMITTAL
2	04-28-2023	CLIENT OWNER PRICE SET
3	05-09-2023	RTC RZ

PROJECT NAME: HOPE CHURCH
 BETTENDORF, IA 52722
 CLIENT NAME: CT CREEK

SHEET NO.: 23-0008
 DESIGN PROFESSIONAL: BOELK
 SHEET NUMBER: L-100

PROPOSED BUILDING
16,000 SF
FFE = 715.00



GENERAL NOTES:

1. THE ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH NEC 2017 AND ALL APPLICABLE LOCAL CODES.
2. CONTRACTOR SHALL FURNISH, INSTALL AND CONNECT ALL MATERIAL AND EQUIPMENT FOR THIS WORK UNLESS OTHERWISE NOTED.
3. ELECTRICAL CONTRACTOR TO VERIFY AVAILABLE VOLTAGE PRIOR TO ORDERING MATERIAL.
4. CONTROLS ARE NOT PROVIDED AS PART OF THIS WORK. COORDINATE EXTERIOR LIGHTING CONTROLS WITH ENGINEER/CONTRACTOR FOR BUILDING.
5. INSTALL CONDUIT AND CONDUCTORS TO EACH FIXTURE, TYPE AND SIZE DEPENDS ON AVAILABLE VOLTAGE. CONFIRM AVAILABLE VOLTAGE WITH ENGINEER/CONTRACTOR FOR BUILDING.

LIGHTING PLAN KEYNOTES:

- ① F1: PROPOSED LIGHT FIXTURE
MANUFACTURER: CURRENT
MODEL #: ASL1-160L-135-4K-4F
POLE: SSS-E-35-40-A-XX-XX
MOUNTING: 25'
LUMENS: 17,300
WATTAGE: 141.4W
- ② F2: PROPOSED LIGHT FIXTURE
MANUFACTURER: CURRENT
MODEL #: ASL1-160L-135-4W
POLE: SSS-E-35-40-A-XX-XX
MOUNTING: 25'
LUMENS: 17,568
WATTAGE: 133.1W

NOTE: BUILDING MOUNTED FIXTURES ARE NOT INCLUDED WITH THESE CALCULATIONS. BUILDING DESIGN HAS NOT BEEN FINALIZED.

TOTAL OUTDOOR LIGHT OUTPUT			
TAG	QUANTITY	LUMENS	TOTAL LUMENS
F-1	1	17,300	17,300
F-2	6	17,568	105,408
	TOTAL		122,408
		LUMENS PER NET ACRE (4.6)	36,543

EXO OUTDOOR LIGHTING
SLING Micro Strike AREA/STREET/ROAD LIGHTER

DATE: LOCATION: TYPE: PROJECT: CATALOG #

ORDERING GUIDE

ORDERING INFORMATION

ASL	160L-135	4K	4F	25'	25'	25'	25'	25'	25'
ASL-160L-135-4K-4F-25'	ASL-160L-135-4K-4F-25'	ASL-160L-135-4K-4F-25'	ASL-160L-135-4K-4F-25'	ASL-160L-135-4K-4F-25'	ASL-160L-135-4K-4F-25'	ASL-160L-135-4K-4F-25'	ASL-160L-135-4K-4F-25'	ASL-160L-135-4K-4F-25'	ASL-160L-135-4K-4F-25'

Notes:
1. Must specify voltage
2. Specify "L" with "H" for up to 10' mounting height, "M" for 10-12' mounting height
3. Specify "S" with "H" for up to 12' mounting height

Current lighting.com/lexo Page 2 of 8 Rev 05/2023 SLING MicroStrike V2_002

EXO OUTDOOR LIGHTING
SLING Micro Strike AREA/STREET/ROAD LIGHTER

DATE: LOCATION: TYPE: PROJECT: CATALOG #

ORDERING GUIDE

ORDERING INFORMATION

ASL	160L-135	4K	4F	25'	25'	25'	25'	25'	25'
ASL-160L-135-4K-4F-25'	ASL-160L-135-4K-4F-25'	ASL-160L-135-4K-4F-25'	ASL-160L-135-4K-4F-25'	ASL-160L-135-4K-4F-25'	ASL-160L-135-4K-4F-25'	ASL-160L-135-4K-4F-25'	ASL-160L-135-4K-4F-25'	ASL-160L-135-4K-4F-25'	ASL-160L-135-4K-4F-25'

Notes:
1. Must specify voltage
2. Specify "L" with "H" for up to 10' mounting height, "M" for 10-12' mounting height
3. Specify "S" with "H" for up to 12' mounting height

Current lighting.com/lexo Page 2 of 8 Rev 05/2023 SLING MicroStrike V2_002

NOT FOR CONSTRUCTION

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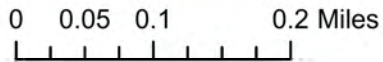
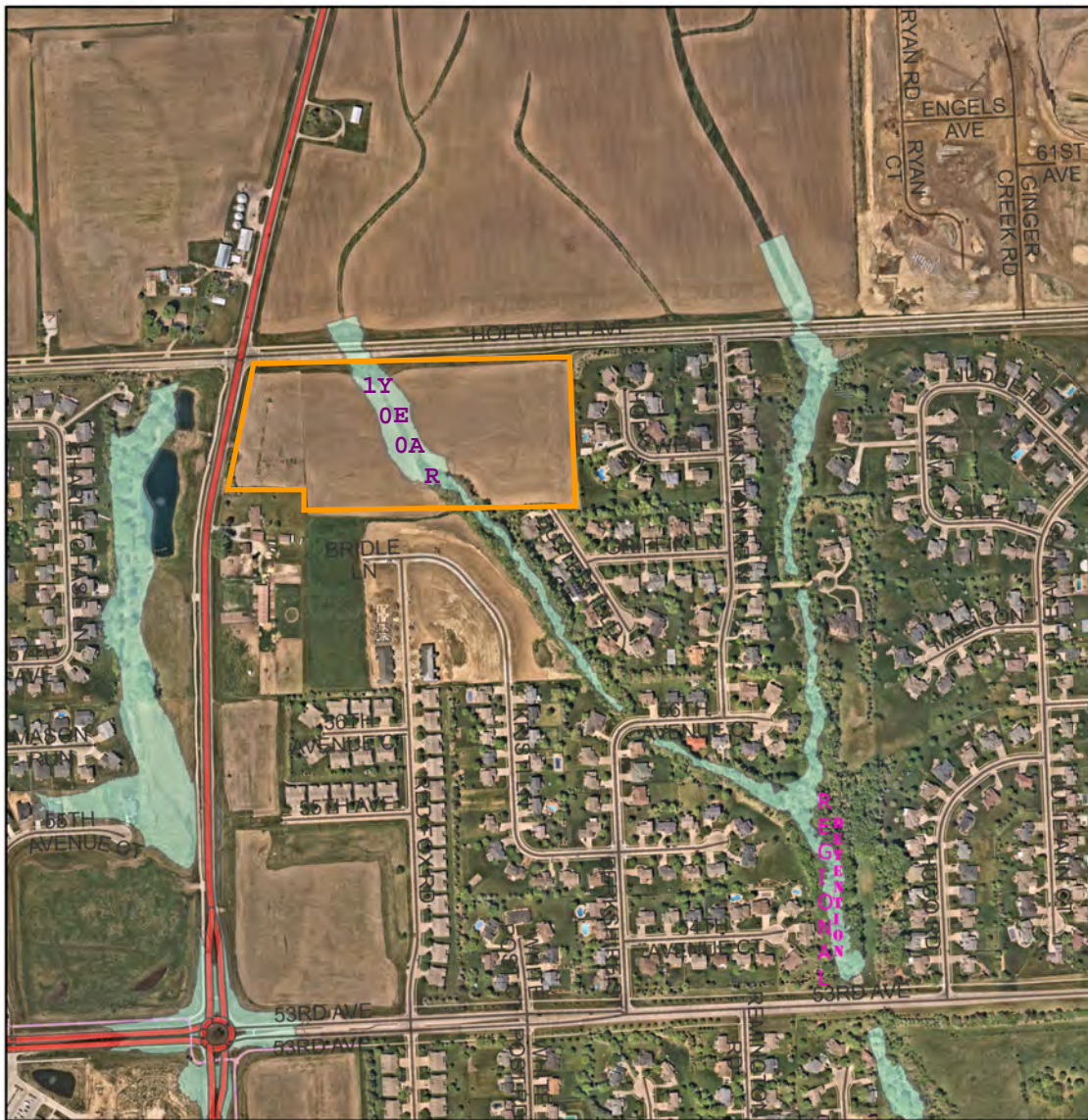
ENGINEER: [Signature]

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REV	DATE	DESCRIPTION OF CHANGES
1	03-28-2023	CITY FIRST SUBMITTAL
2	04-28-2023	CLIENT OWNER PRICE SET
3	05-09-2023	RTC #2

PROJECT NAME: HOPE CHURCH
BETTENDORF, IA 52722
CLIENT NAME: CT CREEK

SHEET NAME: PHOTOMETRIC PLAN
DESIGN PROFESSIONAL: BOELK
PROJECT NO.: 23-0008
SHEET NUMBER: E-100



By Class
RDCLASS

- Alleyway/Access Road
- Bike Trail
- County Route
- Driveway
- Interstate
- Local road in unincorporated area
- Local road within incorporated area or Park View
- Major road
- Pedestrian trail/walkway
- Ramp
- State Highway
- US Highway

<all other values>

City Limits

Creeks

Ponds and Lakes

Flood Zone

FLD_ZONE

- 0.2 PCT ANNUAL CHANCE FLOOD HAZARD
- A
- AE
- AREA NOT INCLUDED
- X
- X PROTECTED BY LEVEE
- <all other values>

STAFF REPORT

Subject: Lot 1, Creek Ridge Estates 3rd
Addition- Site Development Plan
Author: Greg Beck
Department: Community Development



Case No.: 23-036
Request: Site Development Plan for Lot 1, Creek Ridge Estates 3rd Addition
Location: South of Creek Hill Drive and north of State Street
Legal Description: Lot 1, Creek Ridge Estates 3rd Addition - Parcel No. 8427231001
Applicant: Jim Work, Silverthorne Homes
Current Zoning: R-5, High Density Multi-Family Residence District
Future Land Uses: Urban High Intensity

Background Information & Facts

Jim Work, Silverthorne Homes, has submitted a request for approval of a site development plan for eighteen townhouses to be located on Lot 1, Creek Ridge Estates Third Addition (see Aerial Map, Attachment A). The zoning is R-5, High Density Multi-Family Residence District. The future land use designation is Urban High Intensity (see Zoning Map and Future Land Use Maps, Attachments B and C).

Future Land Use and Comprehensive Plan

The future land use designation supports the present R-5, High Density Multi-Family Residence District zoning which permits townhouse developments. The proposed development is consistent with Comprehensive Plan Goal D: Provide Housing Options and Reinvest in Existing Neighborhoods and Goal G: Attract Young People.

Lot Configuration & Zoning Compliance

Lot 1, Creek Ridge Estates 3rd Addition contains 1.45 acres for the townhouse units (see Final Plat, Attachment D). Eighteen townhouses are proposed (Site Development Plan, Attachment E). The townhouses are shown as three stories in the provided drawings, but the petitioner has indicated they may reduce the buildings to two stories. If the petitioner wishes to build to a two stories, the setbacks for rear and side yard may be reduced (see Elevations, Attachment F). The Board of Adjustment issued a variance reducing the platted side yard setback from 21 feet to 7.5 feet. 7.5 feet is the required side yard setback for a three-story structure in this zoning district.

Utilities

Utilities are present along Creek Hill Drive and already connect to existing structures east of the proposed site. Blanket underground easements already are available for sanitary and storm sewer. Gas, electric, cable and water service are also accommodated by these easements bordering the lot frontage. All utility connections shall be the responsibility of the developer to administer.

Thoroughfare Plan & Access

The site is accessible from State Street by 39th Street which connects to Creek Hill Drive. The driveway for interior circulation of this development is connected to Creek Hill Drive. The drive will be maintained and owned by the homeowners' organization. All trash pickups will be handled through private service.

Pedestrian and Trail Access

A 5-foot sidewalk designed to match the City standards shall be required to be placed in front of Lot 1.

Off-Street Parking

Requirements for parking were met with four spaces provided for each unit. Additional parking is provided in the interior, over what is needed. No parking will be permitted along the access drive area.

Stormwater Detention

Storm water detention is accommodated by a detention basin in the southwest corner of the development, with a water quality measure included in the basin. Any water quality features or further stormwater detention requirements would need to be evaluated by the City Engineer.

Landscaping

Landscaping has been placed in streetscape areas and drive areas per the Landscape Ordinance (see Landscape Plan, Attachment G). Landscaping requirements are met for the site as shown on the landscape plan.

Lighting

All lighting shall be required to be downcast on the parcel.

Floodplain

No portion of this lot is within the 100-year flood hazard area.

Staff Recommendation

Since the developer has met the requirements for approval of the site development plan, staff recommends approval of the site development plan, with the following standard conditions:

1. Approval of the site development plan does not waive any applicable city, state, or federal provisions as required by law.
2. The City Engineer must certify all water quality mechanisms meet City ordinance standards, prior to a Certificate of Occupancy being issued.

Respectfully submitted,

Greg Beck
City Planner

Case 23-036 Site Development Plan Lot 1, Creek Ridge Estates 3rd Add Aerial Map



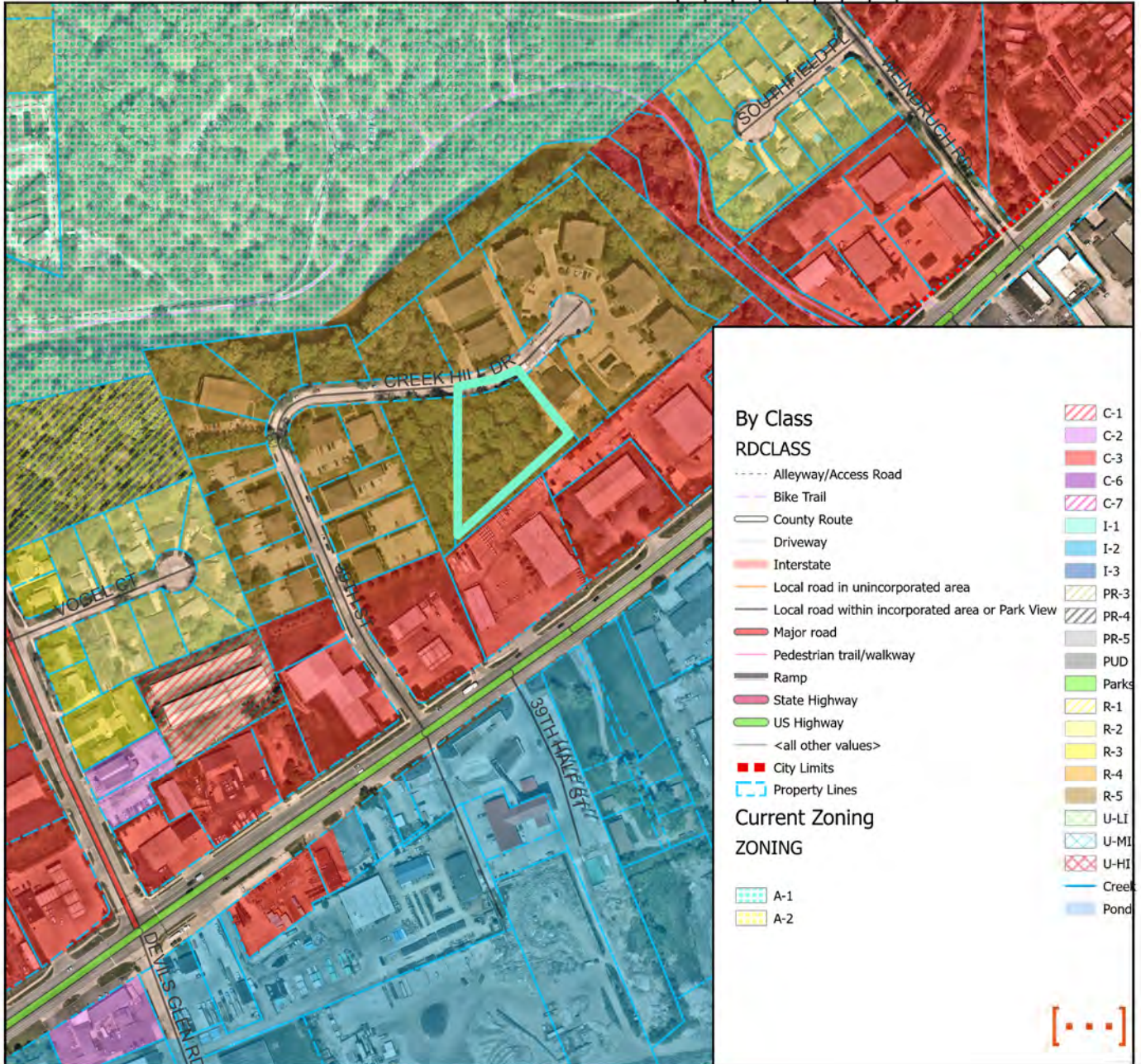
0 125 250 500 Feet



Case 23-036 Site Development Plan Lot 1, Creek Ridge Estates 3rd Add Zoning Map



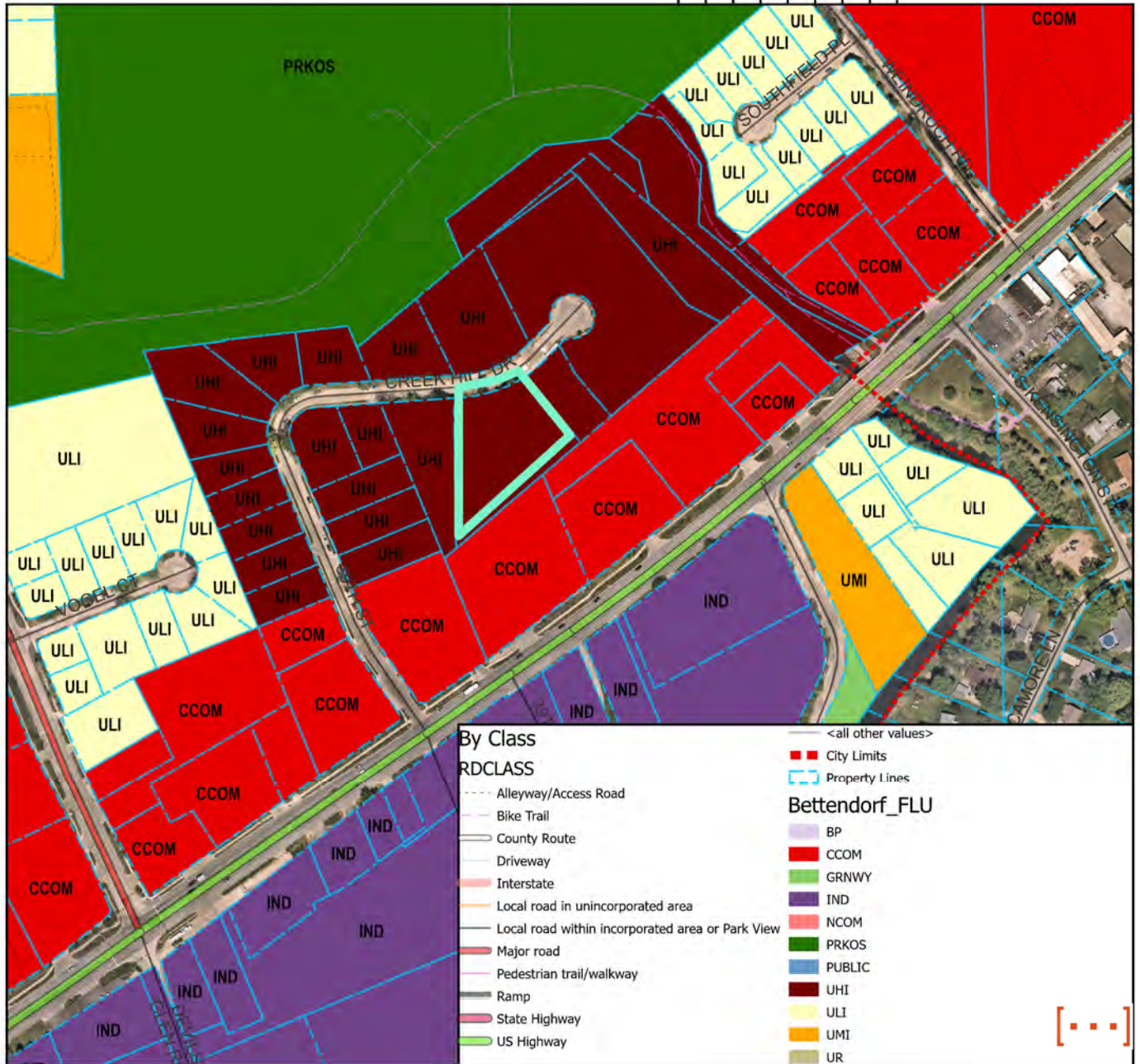
0 125 250 500 Feet



Case 23-036 Site Development Plan Lot 1, Creek Ridge Estates 3rd Add Future Land Use Map

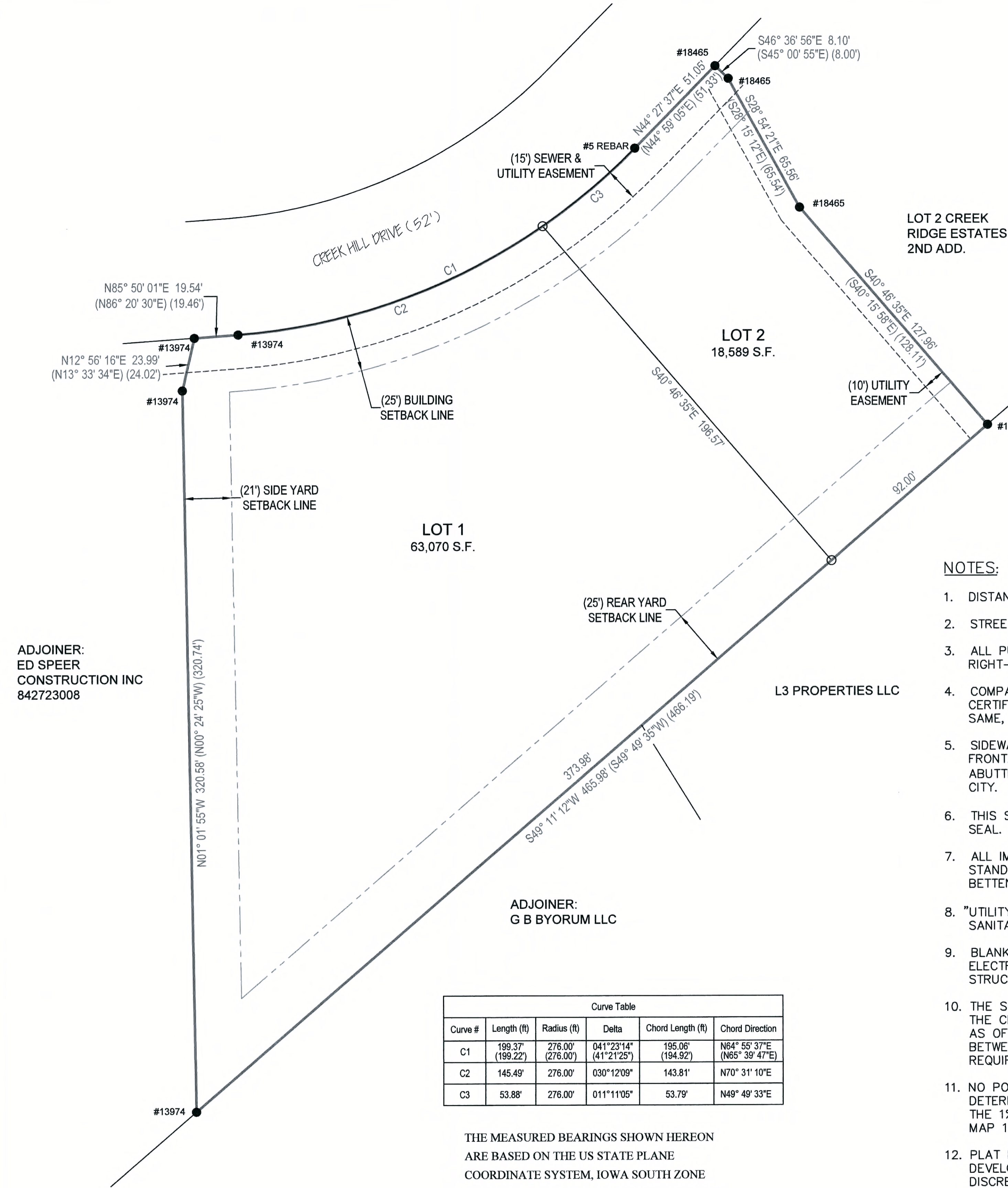


0 125 250 500 Feet



FINAL PLAT CREEK RIDGE ESTATES 3RD ADDITION

BEING A REPLAT OF LOT 1 OF CREEK RIDGE ESTATES 2ND ADDITION TO THE CITY OF BETTENDORF, SCOTT COUNTY, IOWA, LOCATED IN PART OF THE EAST HALF OF SECTION 27, TOWNSHIP 78 NORTH, RANGE 4 EAST OF THE 5TH P.M., SCOTT COUNTY, IOWA.



PLAT INFORMATION

1. Owner:
Dana Development LLC
1016 Coffelt Ave
Bettendorf, Iowa 52722
2. Engineer:
Townsend Engineering
2224 East 12th Street
Davenport, Iowa 52803
Ph: (563) 386-4236
3. Surveyor:
Michael D. Richmond
2224 East 12th Street
Davenport, Iowa 52803
Ph: (563) 386-4236
4. Attorney:
Milissa Hofmann
3425 E. Locust Str., Suite 201
Davenport, Iowa 52803
(563)326-4900

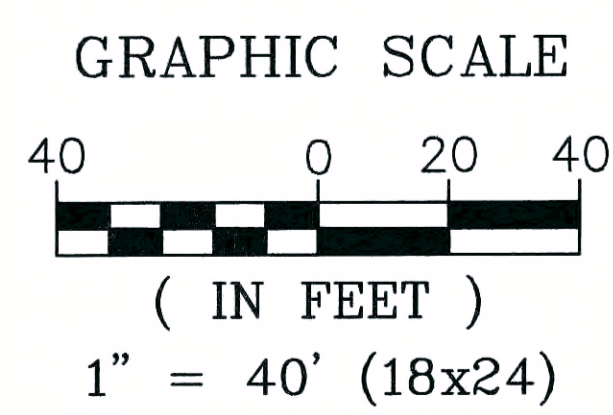
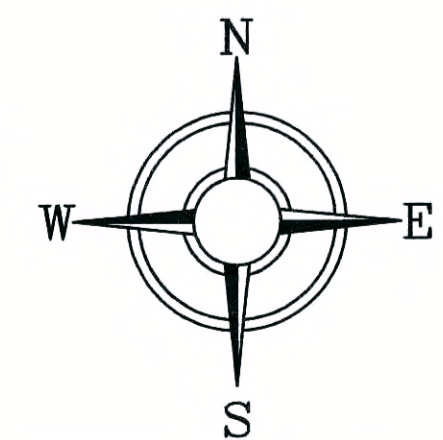
NOTES:

1. DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
2. STREET RADIUS AT ALL INTERSECTIONS SHALL BE 25 FEET.
3. ALL PUBLIC UTILITIES SHALL BE LOCATED WITHIN EASEMENTS OR PUBLIC RIGHT-OF-WAY.
4. COMPARE THE DESCRIPTION OF THIS PLAT WITH THE DEED, ABSTRACT OR CERTIFICATE OF TITLE; ALSO COMPARE ALL POINTS BEFORE BUILDING BY SAME, AND AT ONCE REPORT ANY DIFFERENCE.
5. SIDEWALKS SHALL BE CONSTRUCTED ALONG ALL PUBLIC STREET FRONTAGES. INSTALLATION OF SIDEWALKS SHALL OCCUR WHEN THE ABUTTING PROPERTY (LOT) IS DEVELOPED OR WHEN SO ORDERED BY THE CITY.
6. THIS SURVEY IS NOT VALID WITHOUT THE SURVEYOR'S SIGNATURE AND SEAL.
7. ALL IMPROVEMENTS TO BE INSTALLED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR CONSTRUCTION FOR THE CITY OF BETTENDORF, IA.
8. "UTILITY EASEMENTS" SHALL ACCOMMODATE GAS, ELECTRIC, WATER, SANITARY SEWER AND COMMUNICATION LINES AS NEEDED.
9. BLANKET UNDERGROUND EASEMENTS GRANTED FOR SEWER, WATER, GAS, ELECTRIC, TELEPHONE, AND CABLE T.V. SERVICES TO INDIVIDUAL STRUCTURES WITHIN THE LOT WHERE THE STRUCTURE IS LOCATED.
10. THE SUBJECT PROPERTY IS ZONED R-5 AT THE TIME OF ACCEPTANCE BY THE CITY. ZONING SETBACK LINES ARE BASED ON ZONING REQUIREMENTS AS OF THE DATE OF CITY COUNCIL APPROVAL, IN CASE OF CONFLICT BETWEEN LINES SHOWN AND FUTURE CODE REQUIREMENTS THE CODE REQUIREMENTS SHALL GOVERN.
11. NO PORTION OF THE SUBDIVISION IS LOCATED WITHIN THE FEMA DETERMINED SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD AS SHOWN ON FLOOD INSURANCE RATE MAP 19163C0386F, EFFECTIVE DATE FEBRUARY 18, 2011.
12. PLAT NOTES ESTABLISH REQUIREMENTS FOR HOW A SUBDIVISION WILL DEVELOP. HOWEVER, THE CITY RESERVES THE RIGHT IN ITS SOLE DISCRETION TO ALTER OR AMEND ANY PLAT NOTE, OR TO SELL OR VACATE ANY RIGHT OF WAY OR UTILITY EASEMENT DEDICATED WITHIN THE PLAT. FURTHER, THE CITY RESERVES THE RIGHT UPON REQUEST OF THE OWNER TO RELOCATE ANY EASEMENT, ALTER LOT BOUNDARIES OR ALLOW GROUND TO BE REPLATTED.
13. CHANGES IN THE PLAT WHICH AFFECT THE PLACEMENT OF UTILITY FACILITIES ARE TO BE REVIEWED AND APPROVED BY THE AFFECTED UTILITIES AND ANY CHANGES WHICH RESULT IN THE RELOCATION OF UTILITY FACILITIES SHALL BE AT THE EXPENSE OF THE PARTY REQUESTING THE CHANGE.
14. ALL BUILDING SETBACKS, RESTRICTIONS AND COVENANTS ESTABLISHED WITH CREEK RIDGE ESTATES 2ND ADDITION SHALL APPLY TO CREEK RIDGE ESTATES 3RD ADDITION.

Curve Table					
Curve #	Length (ft)	Radius (ft)	Delta	Chord Length (ft)	Chord Direction
C1	199.37 (199.22)	276.00 (276.00)	041°23'14" (41°21'25")	195.06 (194.92)	N64° 55' 37"E (N65° 39' 47"E)
C2	145.49'	276.00'	030°12'09"	143.81'	N70° 31' 10"E
C3	53.88'	276.00'	011°11'05"	53.79'	N49° 49' 33"E

THE MEASURED BEARINGS SHOWN HEREON ARE BASED ON THE US STATE PLANE COORDINATE SYSTEM, IOWA SOUTH ZONE (1402) GEOID 12A, NAD 83 (2011) EPOCH 2010.00.

- LEGEND:**
 DEED DIMENSION = (0.00')
 FIELD DIMENSION = 0.00'
 MONUMENTS FOUND:
 #5 REBAR W/ GREEN CAP #18465 = ●
 #5 REBAR W/ ORANGE CAP #13974 = ●
 MONUMENTS SET:
 #5 REBAR W/ YELLOW CAP #23503 = ○
 BOUNDARY LINE = ————
 EASEMENT LINE = - - - - -
 SETBACK LINE = - · - · -

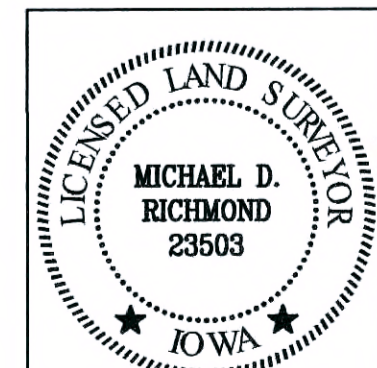


APPROVAL SIGNATURES:	
MAYOR <i>[Signature]</i>	DATE: 5-25-20
CITY CLERK <i>[Signature]</i>	DATE: 5-29-20
CHAIRMAN PLAN & ZONE <i>[Signature]</i>	DATE: 4 21 2020
CENTURY LINK <i>[Signature]</i>	DATE: 4-17-2020
IOWA - AMERICAN WATER COMPANY <i>[Signature]</i>	DATE: 4-17-2020
MEDIA COM <i>[Signature]</i>	DATE: 5-19-20
MIDAMERICAN ENERGY <i>[Signature]</i>	DATE: 5-19-20
APPROVED SUBJECT TO ENCUMBRANCES OF RECORD M.E.C.	

15. ALL UTILITIES ARE TO BE INSTALLED UNDERGROUND.
16. ALL STORM SEWER AND DRAINAGE EASEMENTS SHALL HAVE A BLANKET INGRESS/EGRESS EASEMENT.
17. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS AND ROADWAYS OF RECORD.
18. NO INVESTIGATION CONCERNING ENVIRONMENTAL AND SUBSURFACE CONDITIONS, OR FOR THE EXISTENCE OF UNDERGROUND CONTAINERS, STRUCTURES OR FACILITIES WHICH MAY AFFECT THE USE AND DEVELOPMENT OF THIS PROPERTY WAS MADE AS A PART OF THIS SURVEY.
19. NO INVESTIGATION WAS MADE AS A PART OF THIS SURVEY TO DETERMINE OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITIES OR MUNICIPAL FACILITIES, EXCEPT AS NOTED. CALL IOWA ONECALL AT 1-800-292-8989 FOR INFORMATION REGARDING THESE UTILITIES OR FACILITIES.
20. NEW MONUMENTS WILL BE SET IN ACCORDANCE WITH RELEVANT IOWA CODE.

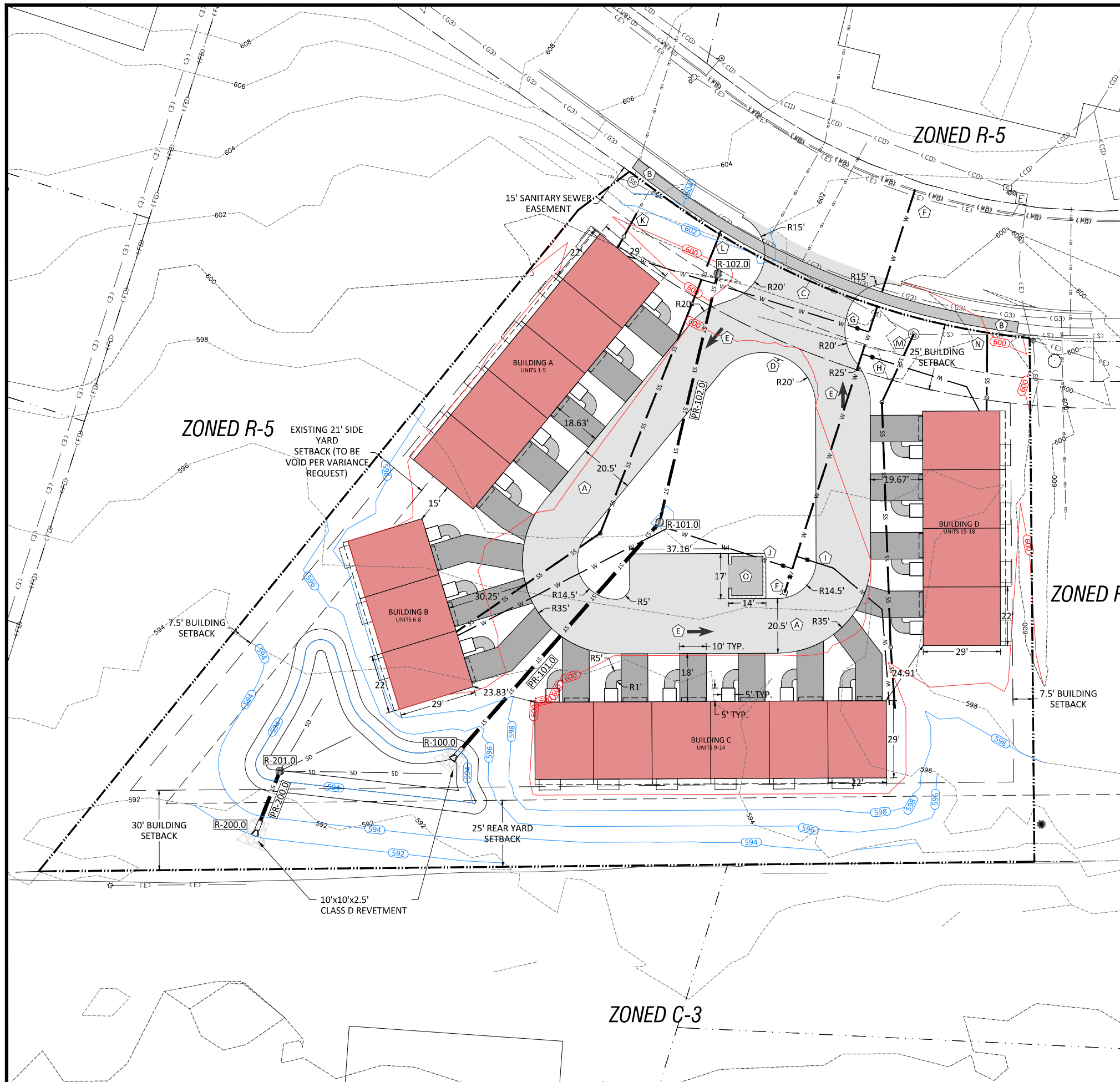
ZONING & LOT INFORMATION

CURRENT ZONING:	R-5
TOTAL NUMBER OF LOTS:	2
TOTAL SITE ACREAGE:	1.875 ACRES



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Land Surveyor under the laws of the State of Iowa.
[Signature]
 MICHAEL D. RICHMOND
 Iowa License Number: 23503
 My license renewal date is December 31, 2021
 Pages or sheets covered by this seal: 1

TOWNSEND ENGINEERING <small>CIVIL • STRUCTURAL • LAND DEVELOPMENT</small>	DATE: 00/00/00	DRAWN BY: KLC	CHECKED BY: MDR				
	563 386.4236 office 386.4231 fax 2224 East 12th Street, Davenport, IA 52803	DRAWING LOCATION S:\McDEVIT\CREEK HILL	NO.	REVISIONS: DESCRIPTION	DATE	PROJECT FINAL PLAT CREEK RIDGE ESTATES 3RD ADDITION BETTENDORF, IOWA	PREPARED FOR DANA DEVELOPMENT LLC 1016 COFFELT AVE BETTENDORF IA 52722



SITE & UTILITY KEYNOTES:

- A PROPOSED PCC STANDARD PAVEMENT. SEE DETAIL #1, SHEET C5.00.
- B PROPOSED PCC SIDEWALK. SEE DETAIL #2, SHEET C5.00.
- C PROPOSED DRIVEWAY. REFER TO SUDAS DETAIL 7030.101.
- D PROPOSED 24"x30" "ONE WAY" SIGN (R6-2). SEE SHEET C.500 FOR DETAILS.
- E PROPOSED PAINTED DIRECTIONAL ARROW.
- F LIVE TAP EXISTING WATER MAIN. INSTALL ±160 LF (EXISTING MAIN TO PROPOSED DEAD-END PRIVATE HYDRANT) OF 6" DIP WATER MAIN WITH ASSOCIATED GATE VALVE. WATER MAIN TO BE INSTALLED PER IOWA AMERICAN WATER MAIN STANDARDS, PROVIDE MINIMUM 5.5' BURY.
- G PROPOSED 6"x2" MJ TEE AND ±95 LF (TEE TO BUILDING) OF 2" PVC SDR-21 WATER SERVICE WITH ASSOCIATED GATE VALVE BETWEEN TEE AND BUILDING AS SHOWN. CONTRACTOR TO PROVIDE WATER MAIN FITTINGS AS NECESSARY TO ROUTE FROM TEE TO BUILDING.
- H PROPOSED 6"x2" MJ TEE AND ±51 LF (TEE TO BUILDING) OF 2" PVC SDR-21 WATER SERVICE WITH ASSOCIATED GATE VALVE BETWEEN TEE AND BUILDING AS SHOWN. CONTRACTOR TO PROVIDE WATER MAIN FITTINGS AS NECESSARY TO ROUTE FROM TEE TO BUILDING.
- I PROPOSED 6"x2" MJ TEE AND ±76 LF (TEE TO BUILDING) OF 2" PVC SDR-21 WATER SERVICE WITH ASSOCIATED GATE VALVE BETWEEN TEE AND BUILDING AS SHOWN. CONTRACTOR TO PROVIDE WATER MAIN FITTINGS AS NECESSARY TO ROUTE FROM TEE TO BUILDING.
- J PROPOSED 6"x2" MJ TEE AND ±138 LF (TEE TO BUILDING) OF 2" PVC SDR-21 WATER SERVICE WITH ASSOCIATED GATE VALVE BETWEEN TEE AND BUILDING AS SHOWN. CONTRACTOR TO PROVIDE WATER MAIN FITTINGS AS NECESSARY TO ROUTE FROM TEE TO BUILDING.
- K CONNECT TO EXISTING SANITARY STUB. INSTALL ±15 LF OF 6" SANITARY SERVICE AT MIN. 1.00% SLOPE. INSTALL SANITARY CLEANOUT 5' FROM BUILDING. CONTRACTOR TO VERIFY DEPTH OF EXISTING SANITARY MAIN PRIOR TO COMMENCING SITE WORK.
- L INSTALL TEE AND CONNECT TO EXISTING SANITARY LINE. INSTALL ±188 LF OF 6" SANITARY SERVICE AT MIN. 1.00% SLOPE. INSTALL SANITARY CLEANOUTS AS SHOWN, WITH NO MORE THAN 100 LF BETWEEN CLEANOUTS. CONTRACTOR TO VERIFY DEPTH OF EXISTING SANITARY MAIN PRIOR TO COMMENCING SITE WORK.
- M CONNECT TO EXISTING SANITARY MANHOLE AND INSTALL ±145 LF OF 6" SANITARY SERVICE AT MIN. 1.00% SLOPE. INSTALL SANITARY CLEANOUTS AS SHOWN, WITH NO MORE THAN 100 LF BETWEEN CLEANOUTS.
- N INSTALL TEE AND CONNECT TO EXISTING SANITARY LINE. INSTALL ±28 LF OF 6" SANITARY SERVICE AT MIN. 1.00% SLOPE. INSTALL SANITARY CLEANOUT 5' FROM BUILDING. CONTRACTOR TO VERIFY DEPTH OF EXISTING SANITARY MAIN PRIOR TO COMMENCING SITE WORK.
- O PROPOSED TRASH ENCLOSURE

UTILITY KEYNOTES:

- 1. EXISTING SANITARY MANHOLES AND STORM INTAKES TO BE ADJUSTED TO PROPOSED GRADE.

STORM SEWER STRUCTURES				
STRUCTURE ID	TYPE	RIM / FG	INFLOW PIPE IE	OUTFLOW PIPE IE
R-100.0	12" FES	594.13	12" IE: 593.02 N	
R-101.0	24" SW-512	598.72	10" IE: 593.78 NW	12" IE: 593.61 S
R-102.0	24" SW-512	598.95		10" IE: 596.07 SE
R-200.0	12" FES	593.23	12" IE: 592.00 N	
R-201.0	OUTFALL STRUCTURE	594.50		12" IE: 592.13 S

STORM SEWER PIPE TABLE								
PIPE ID	STRUCTURE US	STRUCTURE DS	INVERT US	INVERT DS	LENGTH (FEET)	SLOPE	SIZE (IN)	MATERIAL
PR-101.0	101.0	100.0	593.61	593.02	119	0.50%	12	HDPE
PR-102.0	102.0	101.0	596.07	593.78	96	2.40%	10	HDPE
PR-200.0	201.0	200.0	592.13	592.00	27	0.50%	12	HDPE

AXIOM CONSULTANTS
WWW.AXIOM-CON.COM | (319) 519-6220

ENGINEER: 0 10 20

DRAWING LOG	
REV	DESCRIPTION OF CHANGES
1	CITY FIRST SUBMITTAL
2	RTC #1

PROJECT NAME: CREEK RIDGE ESTATES
CREEK HILL DRIVE
BETTENDORF, IA

CLIENT NAME: SILVERTHORNE

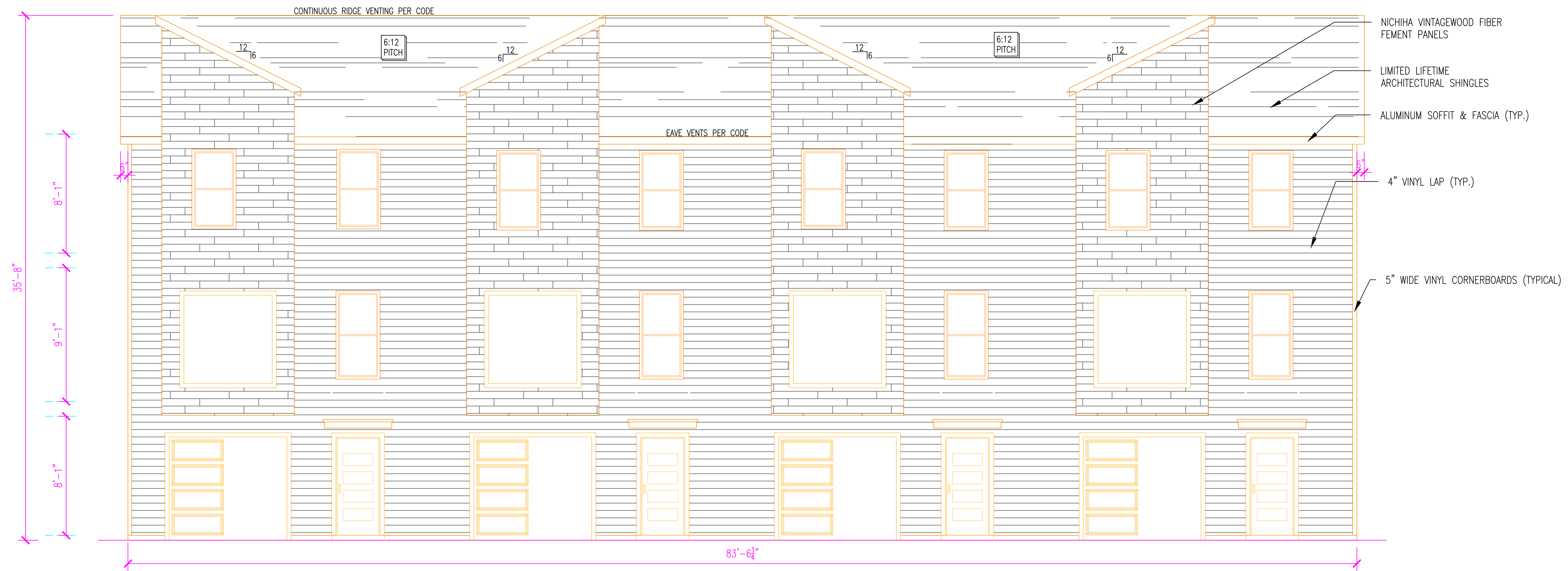
DESIGNED, DETAILED, AND CHECKED BY: BOELK

PROJECT NO.: 230045

SHEET NO.: SITE & UTILITY PLAN

SHEET NUMBER: C2.00

NOT FOR CONSTRUCTION



1 FRONT ELEVATION
 A1 SCALE: 1/4" = 1'-0"



2 REAR ELEVATION
 A1 SCALE: 1/4" = 1'-0"

IN THE EVENT OF A PLAN DISCREPANCY, CHECK WITH GENERAL CONTRACTOR BEFORE PROCEEDING WITH WORK. NO EXTRAS WILL BE APPROVED OR PAID WITHOUT WRITTEN APPROVAL.



1827 E. Lincoln Hwy
 Dekalb, IL 60115
 Phone: 815-526-7735
 Fax: 866-389-4929
 info@silverthornegroup.com

Civil Engineer:
 MEP Engineer:

Project Number
 Date 12-14-2021
 Drawn By kss
 Checked By jlw

3 STORY TOWNHOME COMPLEX

LOT 5
 GLENBROOK RIDGE
 3425 GLENBROOK CIRCLE S.
 BETTENDORF, IA 52722

REVISION NO.	REVISION DESCRIPTION	DATE
1		

A1

3 STORY TOWNHOME COMPLEX

Project Number

Date 12-14-2021

Drawn By kss

Checked By jlw

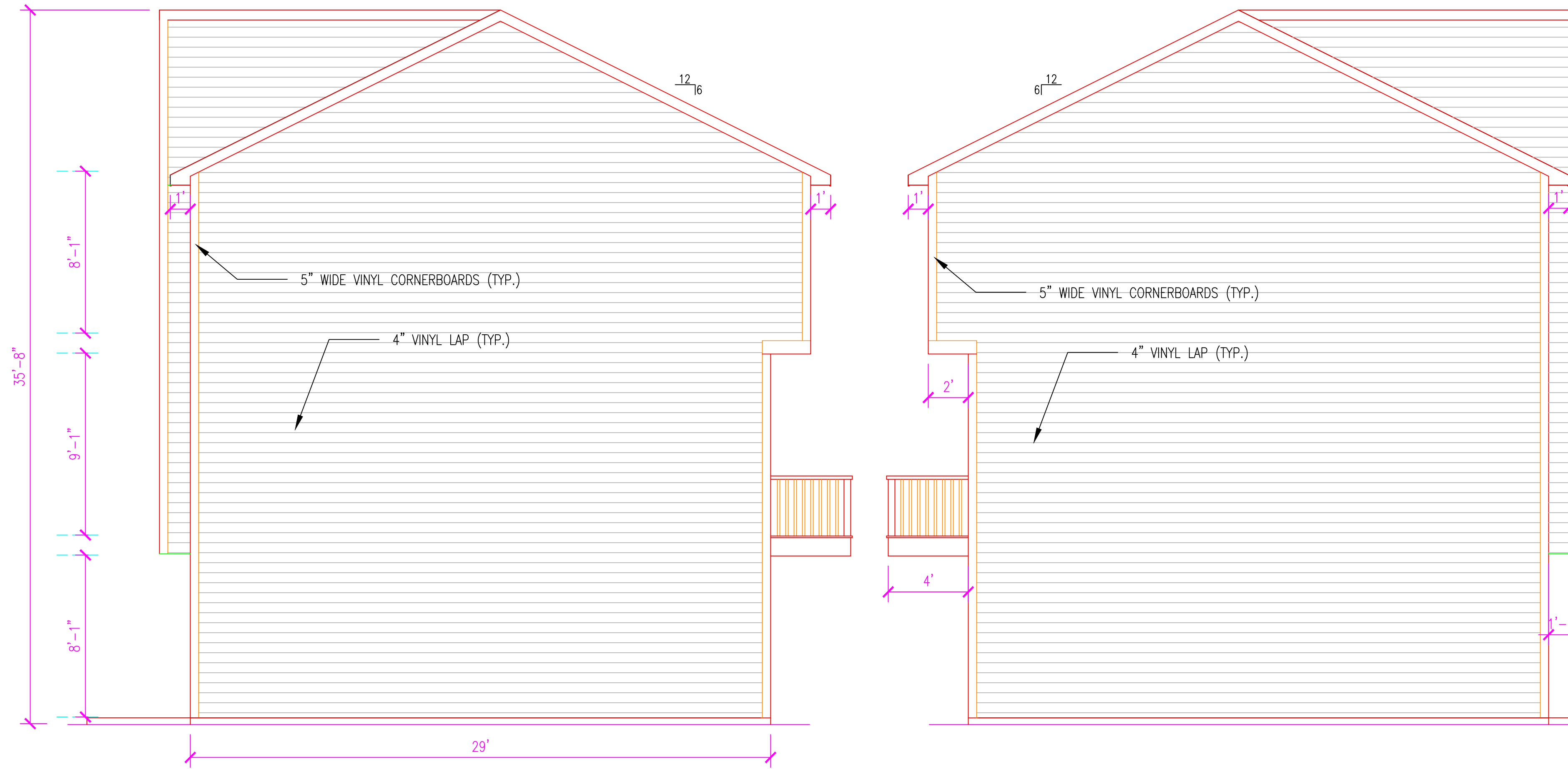
**LOT 5
GLENBROOK RIDGE
3425 GLENBROOK CIRCLE S.
BETTENDORF, IA 52722**

DATE

REVISION DESCRIPTION

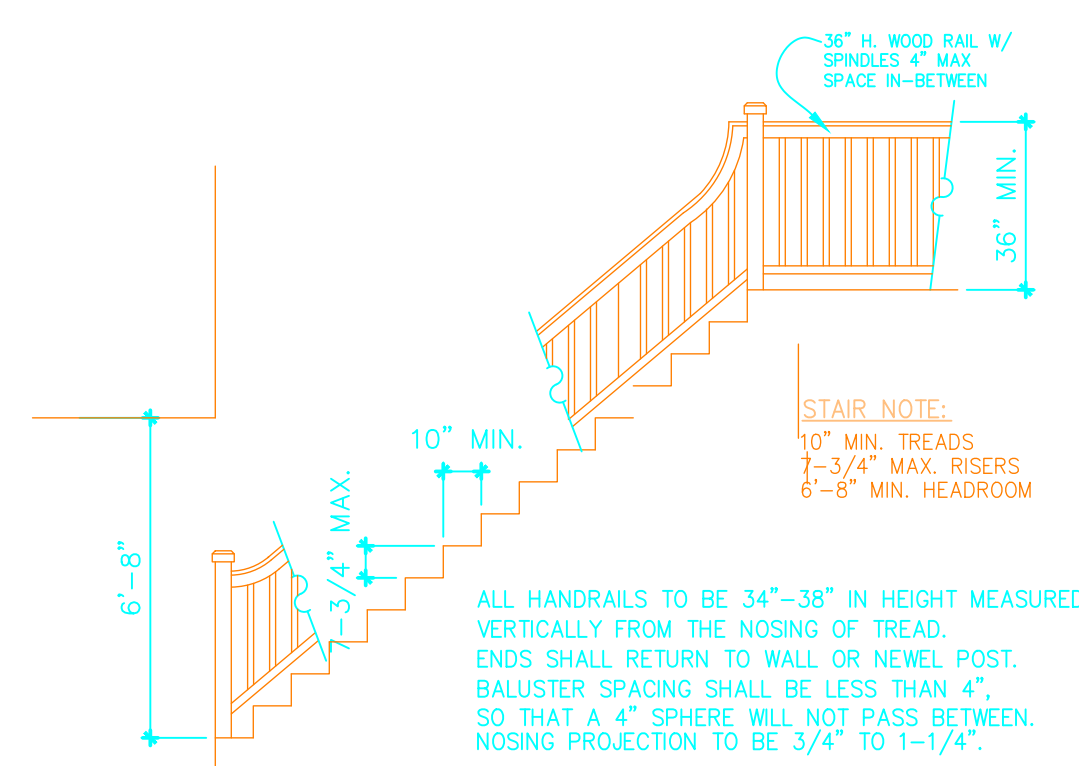
REVISION NO. 1

A2

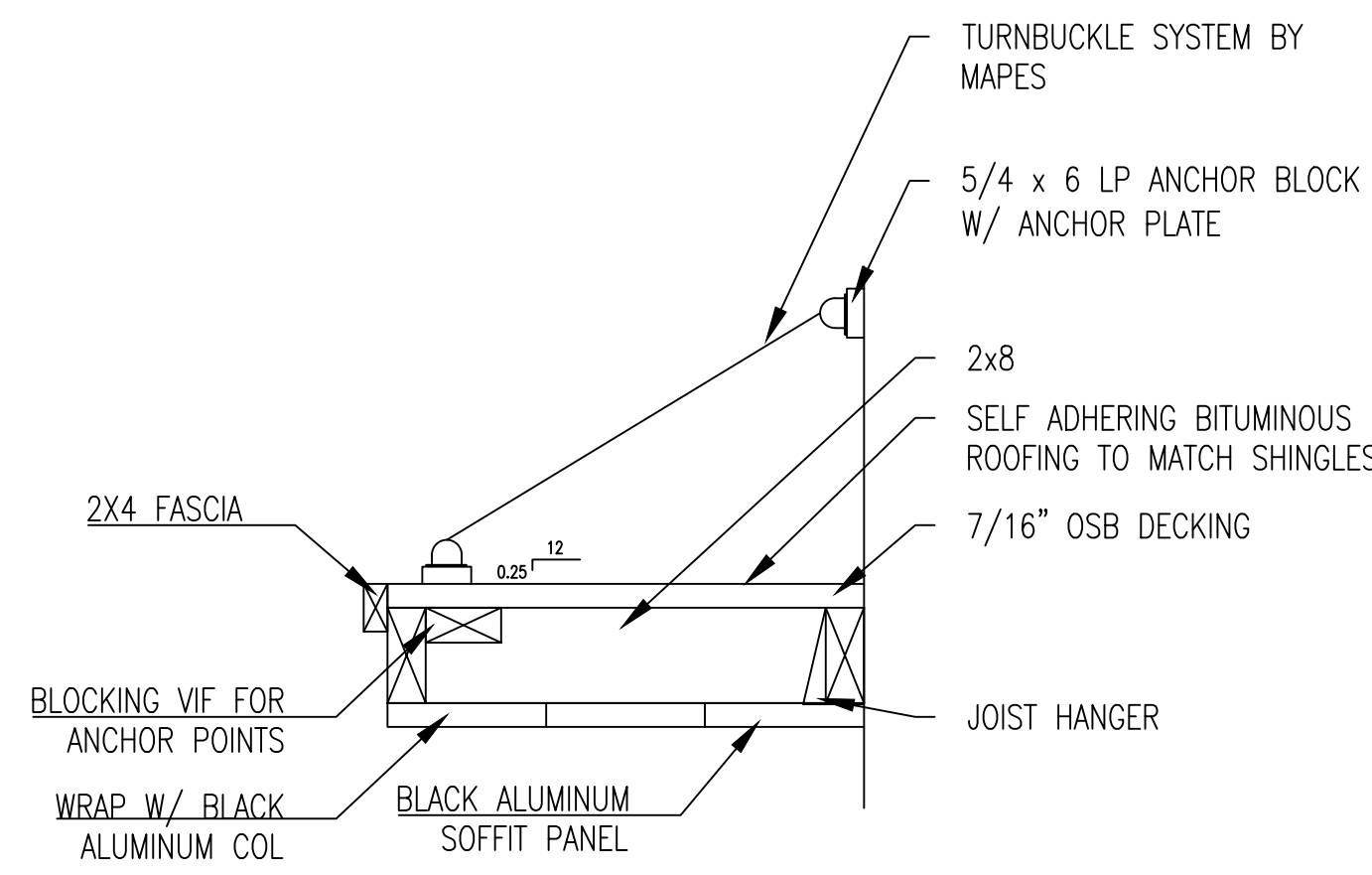


1 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

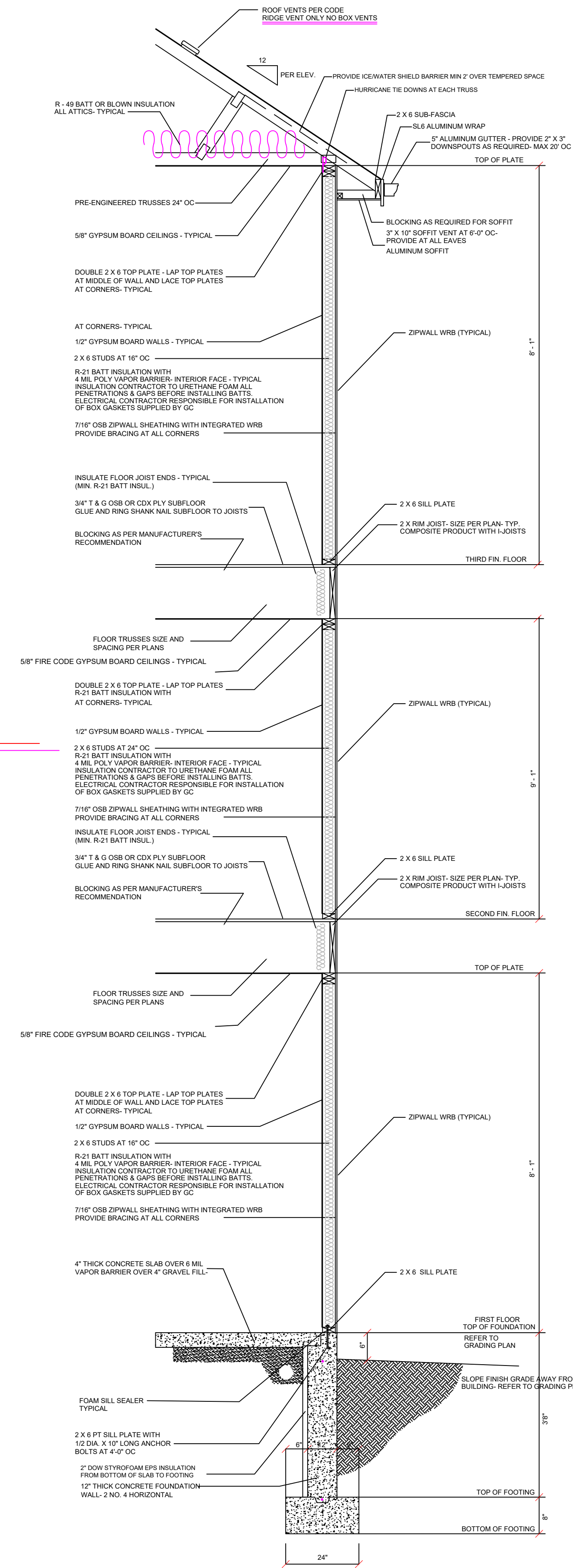
2 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



3 STAIR DETAIL
SCALE: NONE



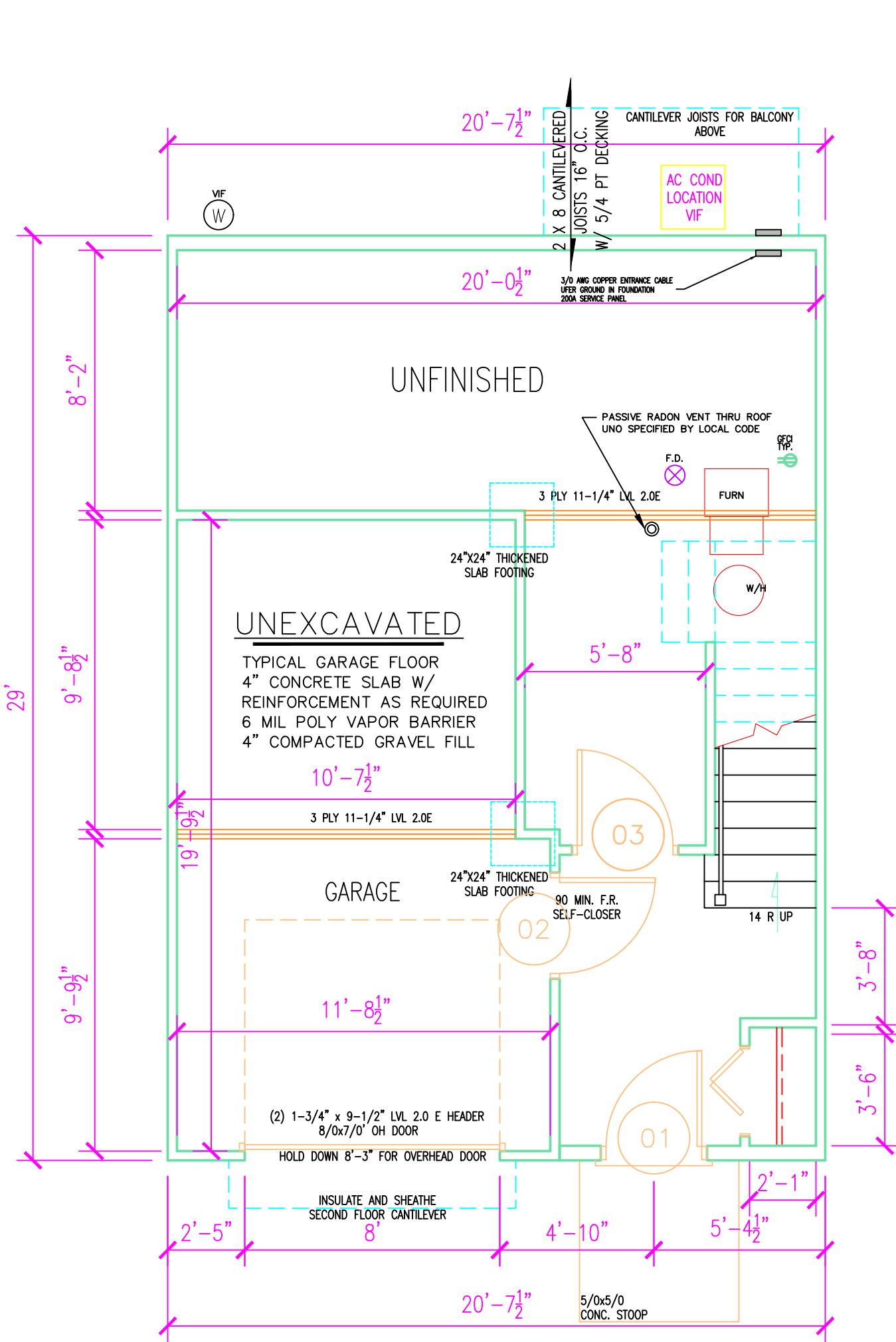
4 FRONT AWNING DETAIL
SCALE: NONE



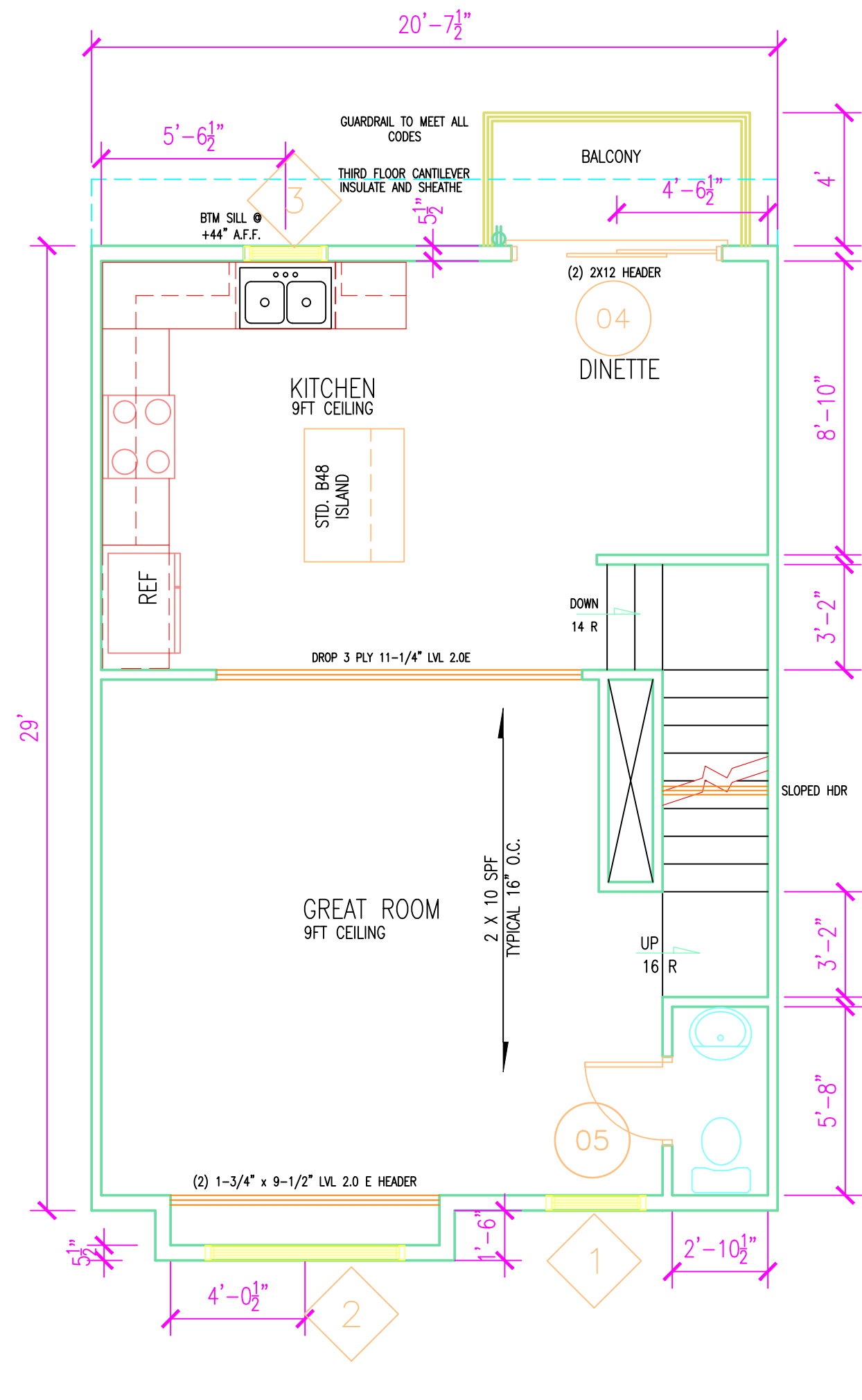
5 TYPICAL WALL SECTION
NTS

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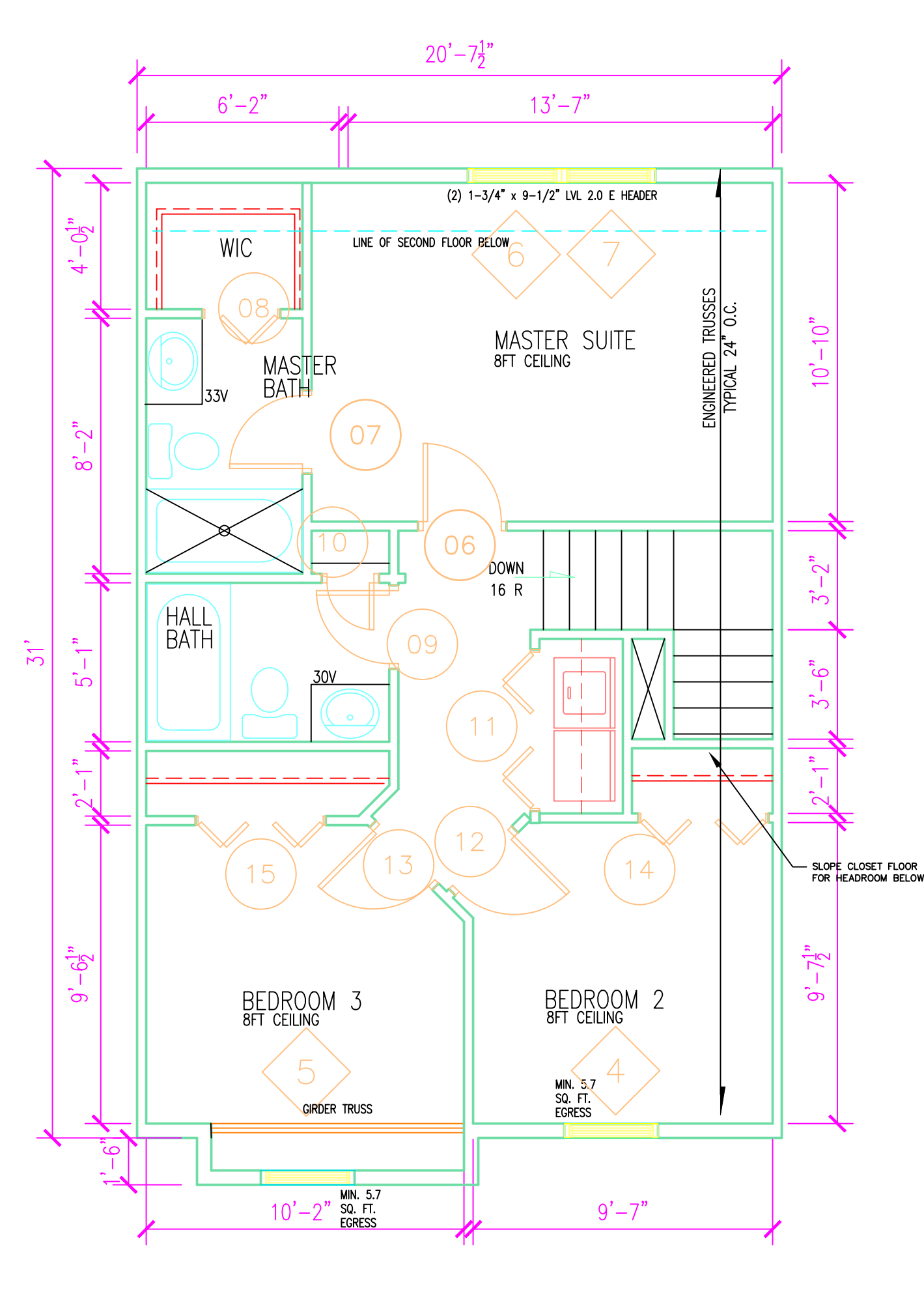
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1 FIRST FLOOR INTERIOR UNIT DETAIL
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR INTERIOR UNIT DETAIL
SCALE: 1/4" = 1'-0"



3 THIRD FLOOR INTERIOR UNIT DETAIL
SCALE: 1/4" = 1'-0"

TYPICAL STOOP SLAB CONSTRUCTION:

4" CONCRETE SLAB W/ FIBERMESH OVER 12" FROST-FREE RESISTANT FILL. STOOP LOCATION & SIZE IS CONSTANT FOR ALL UNITS.

(G) GAS METER LOCATION (V.L.F.) (W) WATER METER LOCATION (V.L.F.)

OTHER CONSTRUCTION NOTES:

PROVIDE MINIMUM 3" CONCRETE COVER AT BELOW SLAB UTILITY LOCATIONS. WHEN CONCRETE INCASEMENT OF UTILITIES IS REQUIRED, THICKEN SLAB ACCORDINGLY. UTILITIES SHALL BE PLACED SUFFICIENTLY BELOW SLAB TO MAINTAIN PROPER COVERAGE. PROVIDE ANCHOR BOLTS W/ MAX SPACING OF 4' O.C. CARPENTRY CONTRACTOR TO PROVIDE "REDHEAD" ANCHORS WITHIN 12" OF PLATE BREAKS WITH NO ANCHOR BOLTS.

GENERAL NOTES

ALL TRADE CONTRACTORS SHALL BE RESPONSIBLE FOR ENSURING THAT THE SCOPE OF WORK COMPLES WITH LOCAL, REQUIRED CODES. FOUNDATION CONCRETE SHALL BE A MIN. 3000 PSI @ 28 DAYS. FLATWORK SHALL BE 3000 PSI @ 28 DAYS. IT IS ASSUMED THAT FOOTINGS BEAR ON UNDISTURBED, INORGANIC SOIL WITH A MINIMUM BEARING OF 2500 PSF. DESIGN FLOOR LOADS ARE 40 PSF LIVING AREAS, ROOF DESIGN IS 30 PSF AND CEILING LL ARE 15 PSF. SLEEPING ROOMS 30 PSF. FLASH ALL HEADS OF WINDOWS AND WRAP WITH GRADE WYCOR OR EQUIVALENT FLASHING TAPE WITH SILL PANS. ALL STRUCTURAL MEMBERS NOT NOTED ON PLAN AS OTHERWISE ARE NO. 2 & 6R SFF. ALL SMOKE DETECTORS SHALL BE DIRECT WIRED 110V AND SHALL BE LINKED TOGETHER WITH CO2 COMBO DETECTOR IN HALL OF UPSTAIRS AREAS BY BEDROOMS. FIRE STOP ALL CHASES, HOLES & PENETRATIONS AS REQUIRED BY CODE. SEAL ALL PLATES, CORNERS AND PENETRATIONS IN BUILDING AS NEEDED FOR BLOWER DOOR TEST. ALL BATH AND DRYER VENTS SHALL BE VENTED DIRECTLY TO THE OUTSIDE. OWNER IS RESPONSIBLE FOR EXISTING SITE CONDITIONS AND ENGINEERING. WINDOW AND DOOR SIZES ARE NOMINAL. CHECK WITH SUPPLIER FOR ACTUAL RO 'S.

HVAC NOTES

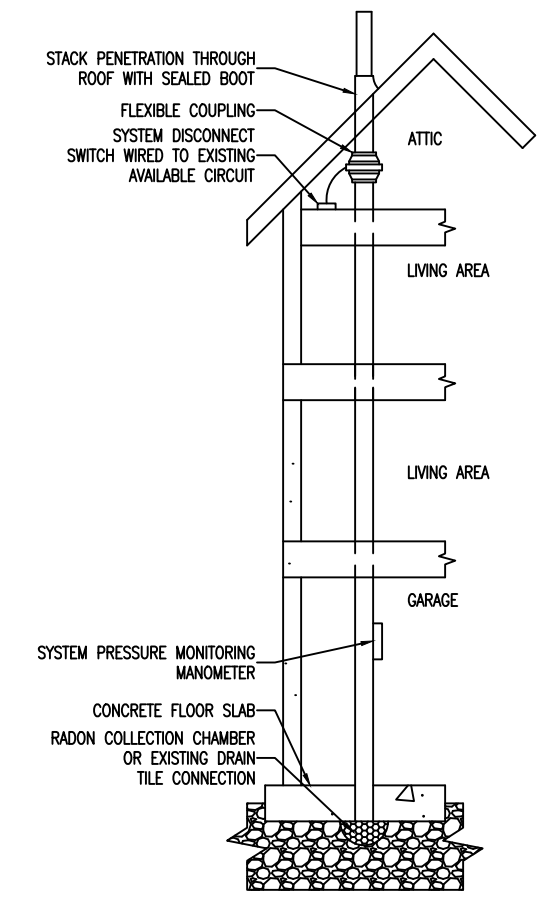
HVAC CONTRACTOR SHALL SIZE SYSTEM APPROPRIATELY FOR APPROPRIATE LOAD. HVAC CONTRACTOR SHALL SUPPLY AT OWNERS REQUEST DRAWINGS & SPECIFICATIONS OF EQUIPMENT & CALCS. HVAC CONTRACTOR TO LOCATE EQUIPMENT IN COOPERATION WITH SUPERINTENDENT PER PRINT. ALL DUCTS IN UNCONDITIONED SPACE TO BE SEALED, INSULATED AND TESTED PER IECC.

PLUMBING NOTES

1. PROVIDE ONE METER FOR EACH UNIT IN BUILDING.
2. ALL PLUMBING WORK SHALL COMPLY WITH CURRENT IOWA PLUMBING CODE AND ANY APPLICABLE AMENDMENTS BOTH TO THIS AND LOCAL CODES.
3. ALL GAS PIPING SHALL BE TESTED UNDER PRESSURE PRIOR TO CONCEALMENT.
5. PLUMBING CONTRACTOR TO SUPPLY ANY DIAGRAMS, SPECIFICATIONS AS TO ALL PLUMBING WORK.
6. ALL SUPPLY PIPING TO BE PEX AND HAVE AIR CHAMBERS AT EACH FIXTURE.
7. PROVIDE SHUTOFF AT EACH FIXTURE.
8. ALL SUPPLY PIPING TO BE PRESSURE TESTED AND SANITIZED PRIOR TO OCCUPANCY.

ELECTRICAL NOTES

1. SMOKE ALARMS ARE REQUIRED TO BE INTER-CONNECTED SUCH THAT ACTUATION OF ONE WILL ACTIVATE ALL SMOKE ALARMS.
2. OUTLETS ARE REQUIRED TO BE PLACED SO THAT NO POINT ALONG WALLS IS MORE THAN 6 FEET FROM AN OUTLET. E3801.2.1 & E3801.2.2
3. OUTLETS ARE REQUIRED ABOVE COUNTER SPACE. SPACE FOR MAXIMUM 24" REACH PER CODE. E3801.4.1
4. OUTLETS ARE REQUIRED AT THE FRONT AND REAR OF THE DWELLING FOR EACH UNIT.
5. FUTURE RADON FAN RECEPTACLE IS REQUIRED IN ATTIC NEARBY RADON VENT STACK.
6. ALL WORK INSPECTED PER NEC CODE REFERENCED IN APPLICABLE CODES SECTION.
7. USE FAN RATED BOXES FOR ALL CEILING FIXTURES
8. CIRCUIT BREAKERS TO FOLLOW NEC CODE FOR AFCI REQUIREMENTS



5 RADON MITIGATION DETAIL TYP.
SCALE: NTS



1827 E. Lincoln Hwy
Dekalb, IL 60115
Phone: 815-526-7735
Fax: 866-389-4929
info@silverthornegroup.com

Civil Engineer:

MEP Engineer:

3 STORY TOWNHOME COMPLEX

Project Number
Date 12-14-2021
Drawn By kss
Checked By jlw

LOT 5
GLENBROOK RIDGE
3425 GLENBROOK CIRCLE S.
BETTENDORF, IA 52722

DATE	REVISION DESCRIPTION
	1

A3

3 STORY TOWNHOME COMPLEX

Project Number

Date 12-14-2021

Drawn By kss

Checked By jlw

**LOT 5
GLENBROOK RIDGE
3425 GLENBROOK CIRCLE S.
BETTENDORF, IA 52722**

DATE

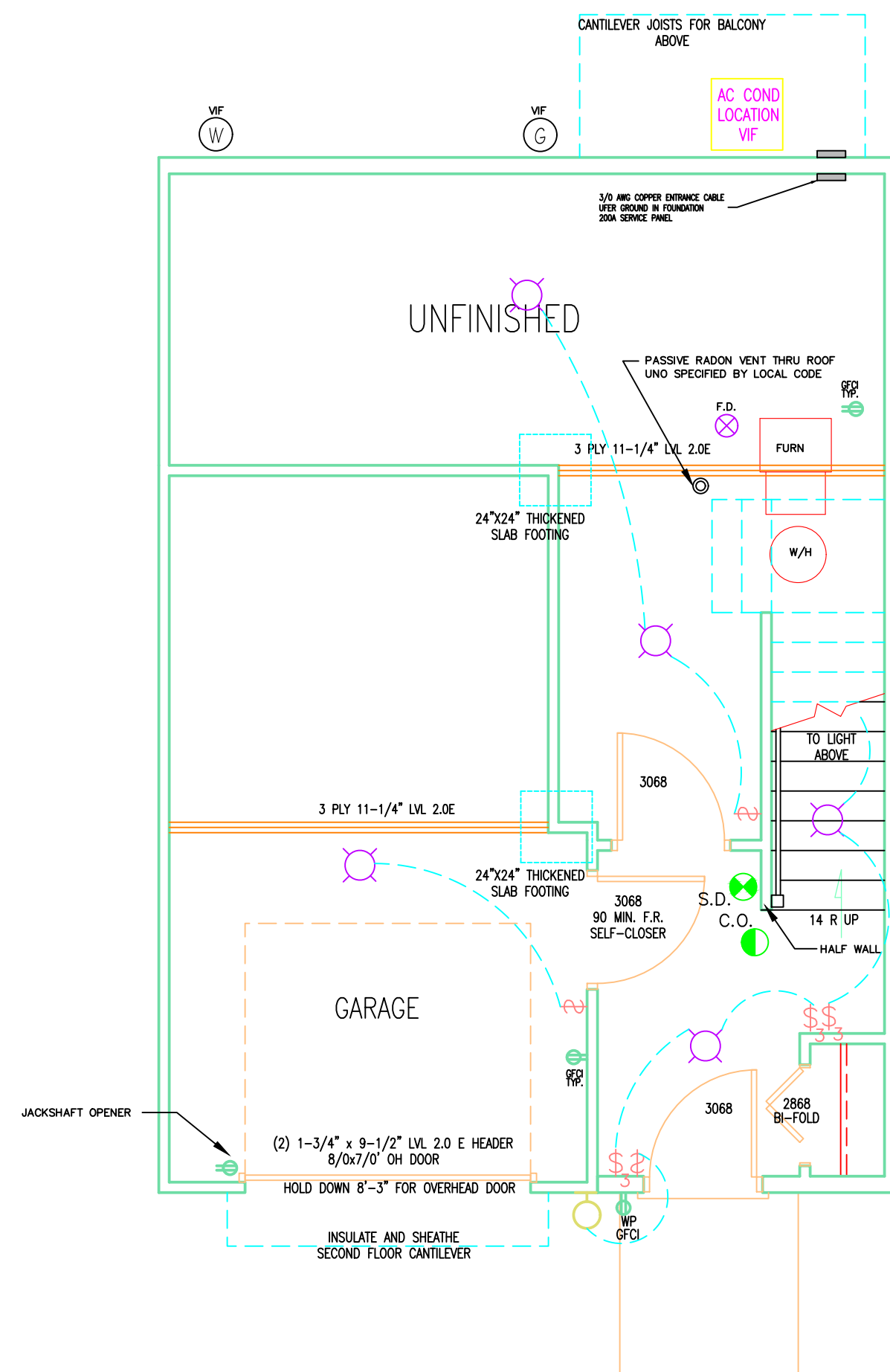
REVISION DESCRIPTION

REVISION NO.

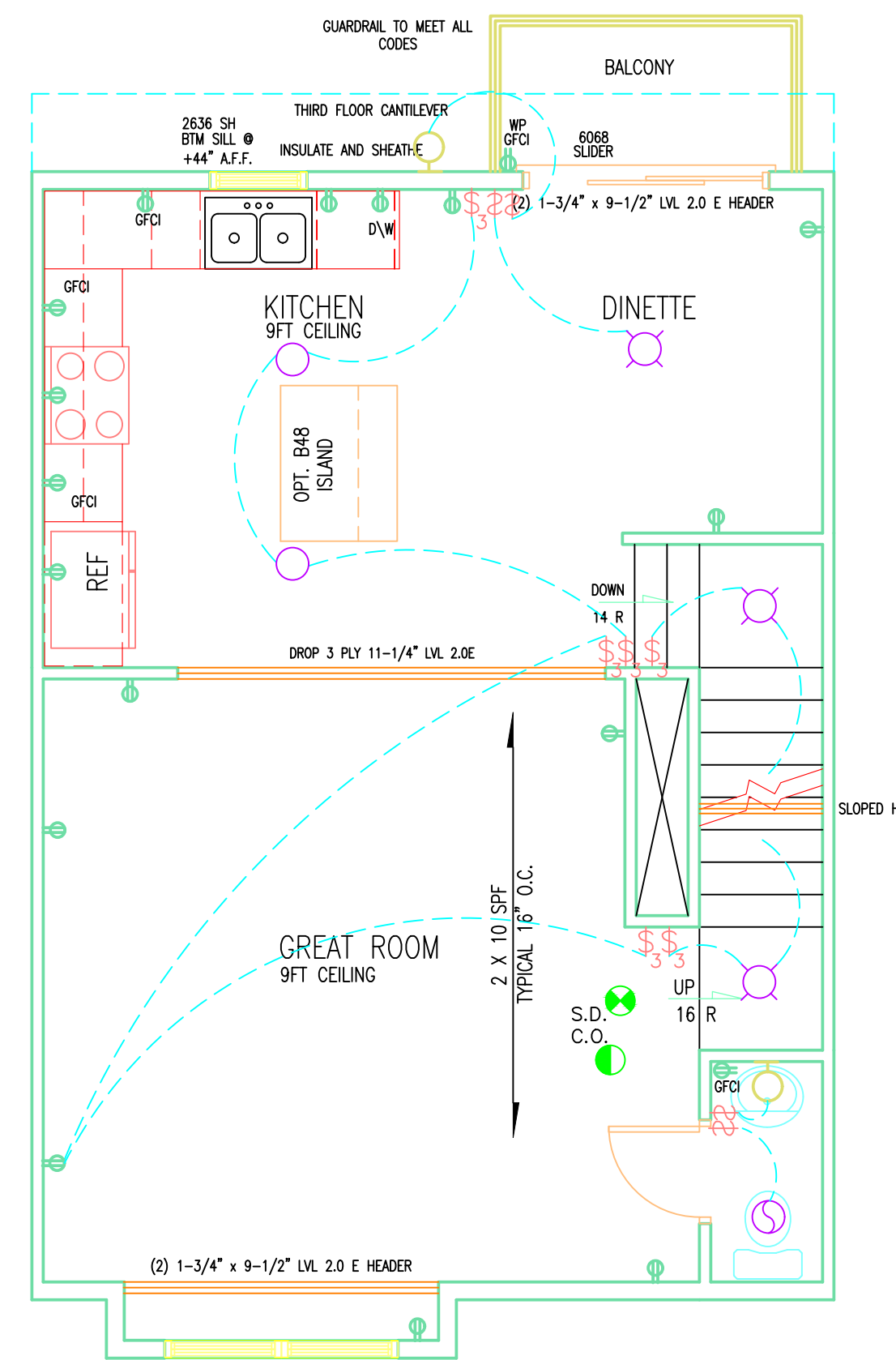
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A4

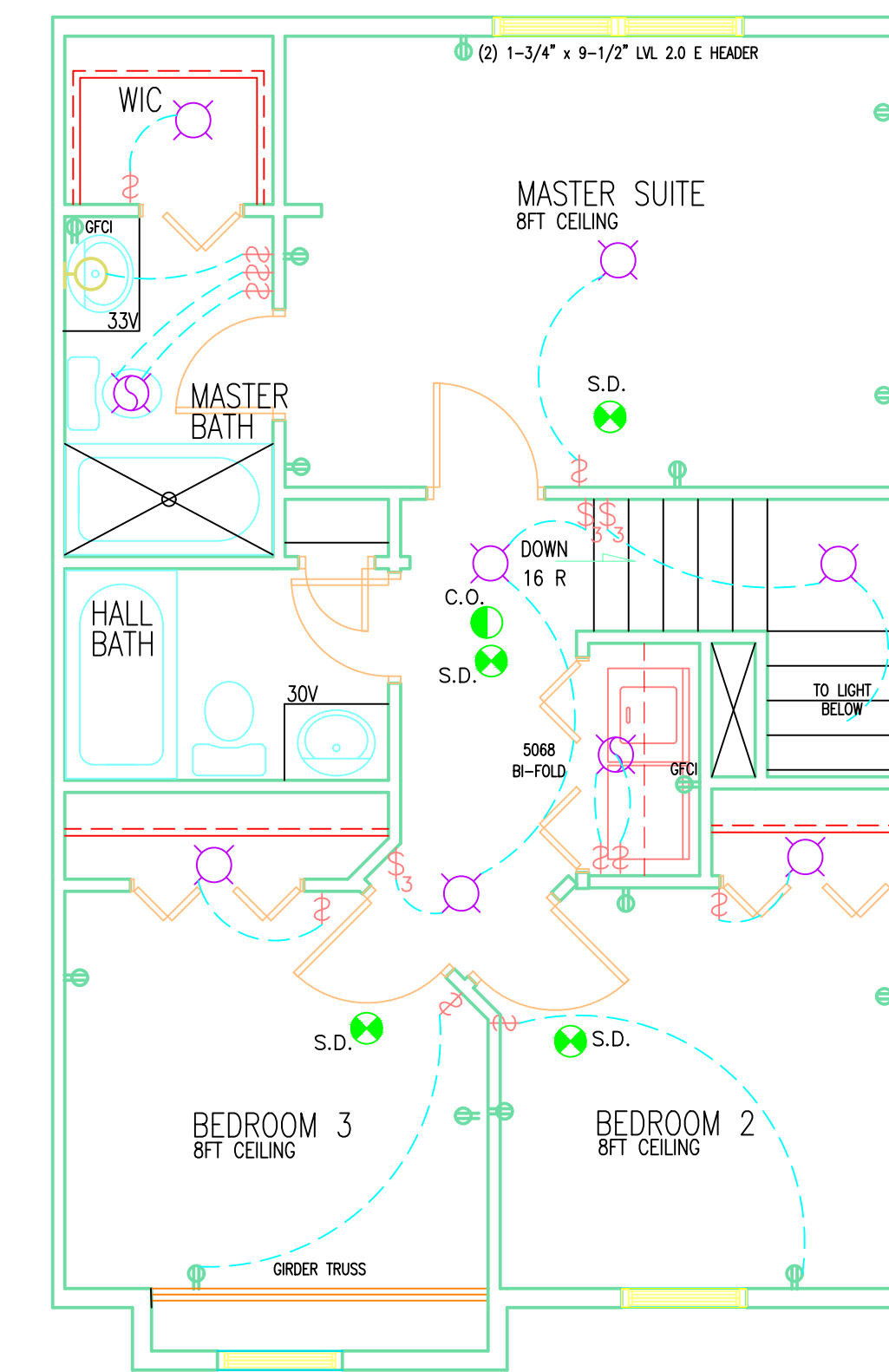
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1
A4
FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



2
A4
SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



3
A4
THIRD FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

MARK	SIZE		TYPE	MATERIAL	CLEAR OPENING	GRESS	LOCATION	NOTES
	WIDTH	HEIGHT						
1	3'-0"	6'-0"	SH	VINYL	33.18"x31.74"	--	GREAT ROOM	**
2	6'-0"	6'-0"	PIC	VINYL	--	--	GREAT ROOM	--
3	2'-6"	3'-6"	SH	VINYL	--	--	KITCHEN	--
4	3'-0"	5'-2"	SH	VINYL	33.18"x26.74"	- 6.16SF	BED 2	**
5	3'-0"	5'-2"	SH	VINYL	33.18"x26.74"	- 6.16SF	BED 3	**
6	3'-0"	5'-2"	SH	VINYL	33.18"x26.74"	- 6.16SF	MASTER BED	**
7	3'-0"	5'-2"	SH	VINYL	33.18"x26.74"	- 6.16SF	MASTER BED	**

MARK	DOOR SIZE		FIRE RATING LABEL	NOTES
	WD	HGT		
1	3'-0"	6'-8"	--	ENTRY
2	3'-0"	6'-8"	90 MINS	GARAGE SELF-CLOSER
3	3'-0"	6'-8"	--	BASEMENT
4	6'-2"	6'-8"	--	BALCONY SLIDER
5	2'-4"	6'-8"	--	POWDER ROOM
6	2'-6"	6'-8"	--	MASTER BED
7	2'-4"	6'-8"	--	MASTER BATH
8	2'-4"	6'-8"	--	MASTER W.I.C.
9	2'-4"	6'-8"	--	HALL BATH
10	1'-6"	6'-8"	--	HALL BATH LINEN
11	5'-0"	6'-8"	--	LAUNDRY DBL BIFOLD
12	2'-6"	6'-8"	--	BED 2
13	2'-6"	6'-8"	--	BED 3
14	4'-0"	6'-8"	--	BED 2 CLOSET DBL BIFOLD
15	4'-0"	6'-8"	--	BED 3 CLOSET DBL BIFOLD

ALL ANGLED WALLS ARE 45 DEG U.N.O.

DOUBLE UP ALL FLOOR JOISTS AT ALL PARALLEL WALLS ABOVE. NAIL JOISTS TOGETHER AND POSITION SUCH THAT 1-1/2" OF THE WALL ABOVE BEARS DIRECTLY OVER DOUBLED-UP FLOOR JOISTS, LEAVING APPROX. 2" TO RUN CONDUIT OR PLUMBING IF NEEDED.

PROVIDE DRYWALL RETURN WINDOWS WITH WOOD SILL AND APRON ON ALL WINDOWS. ALL BIFOLD DOORS TO BE DRYWALL RETURN (HEADER HEIGHT 81-1/4")

FOLLOW LOCAL CODES AND AMENDMENTS FOR ALL STAIR CONSTRUCTION.

PROVIDE SOLID WOOD BLOCKING IN ALL BATHROOMS. INSTALL BETWEEN 32" TO 36" (MIN) AFF IN ALL WALLS ADJACENT TO TOILET, SHOWER STALL OR TUBS.

ALL WALL DIMENSIONS ARE 3.5" OR 5.5" U.N.O. ROUGH FRAMING.

ALL STRUCTURAL BEAMS ARE TO BEAR ON MINIMUM OF (2) 2X4 COLUMNS U.N.O.

TYPICAL MASONRY OPENING (IF ANY) (U.N.O.):
(2) 2X12 w/ 1/2" PLYWOOD
3-1/2" x 5/16" STEEL ANGLE (BOLTED 12" O.C.)

ALL JOIST/RIFTERS NOTED AS (A) ARE ENGINEERED I-JOIST BY ILEVEL WEYERHAEUSER COMPANY AND ALL SIZING SPACING IS BASED ON MANUFACTURER'S RECOMMENDATIONS WITH A DEFLECTION OF L/360. PLEASE NOTE THAT A SERIES DESIGNATION IS ALSO PROVIDED AND THERE MAY BE MORE THAN ONE SERIES SPECIFIED. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. IN NO SERIES IS SPECIFIED, CHECK WITH DESIGNER.

PROVIDE 1-1/2" OF BEARING (MIN) AT ALL JOIST ENDS OR PROVIDE APPROVED JOIST HANGERS.

BATHROOM EXHAUSTS SHALL VENT DIRECTLY TO THE EXTERIOR AVOIDING FRONT ELEVATION EXITS AT ALL TIMES.

ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" OYP BOARD.

ALL WOOD BEAMS, JOISTS, STUDS, AND OTHER COMBUSTIBLE MATERIAL SHALL HAVE A CLEARANCE OF NOT LESS THAN 2" FROM THE FRONT AND SIDE FACES OF MASONRY FIREPLACES AND NOT LESS THAN 4" FROM THE BRICK FACE.

DOUBLE ALL JOISTS UNDER TUBS AND WHIRLPOOLS.

ANY GLASS ADJACENT TO OR WITHIN BATHTUBS OR SHOWERS SHALL BE TEMPERED SAFETY GLASS IF LESS THAN 5' FROM THE STANDING SURFACE FLOOR OF THE FIXTURE.

COORDINATE INSTALLATION OF ALL FLOOR JOISTS WITH PLUMBING FIXTURES SUCH THAT WHEN INSTALLED, THERE IS ENOUGH CLEARANCE ALLOWED THAT CUTTING OR NOTCHING OF JOIST WILL NOT BE REQUIRED.

**BETTENDORF, IOWA
APPLICABLE CODES**

2015 INTERNATIONAL BUILDING CODE
2015 INTERNATIONAL RESIDENTIAL CODE
2009 INTERNATIONAL ENERGY CONSERVATION CODE
2015 INTERNATIONAL FIRE CODE
2015 INTERNATIONAL MECHANICAL CODE
2015 UNIFORM PLUMBING CODE
2014 NATIONAL ELECTRICAL CODE
2015 INTERNATIONAL FUEL GAS CODE

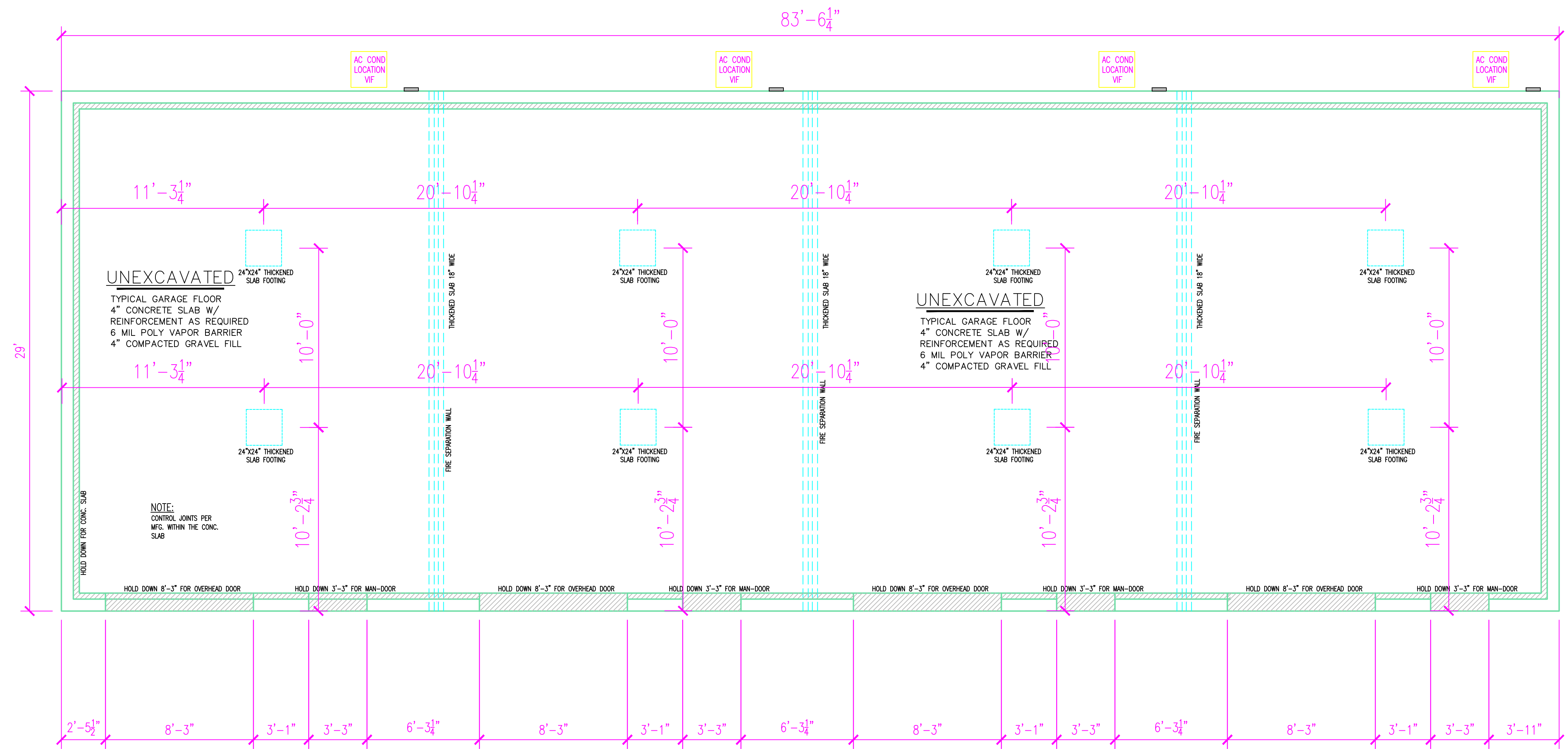
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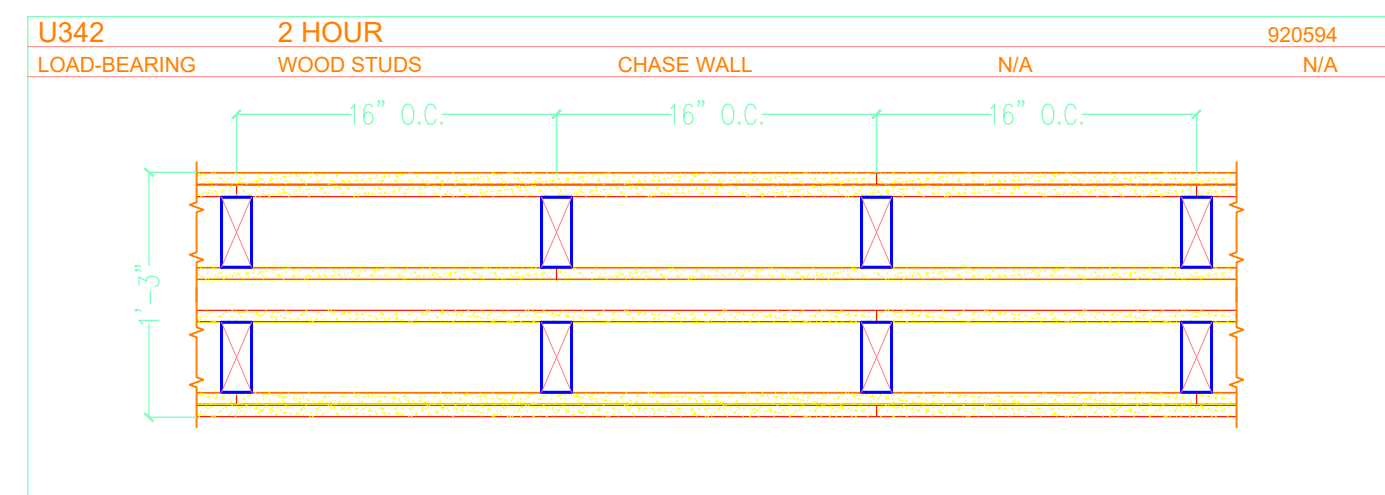
Civil Engineer:

MEP Engineer:



1 FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

UL U342



FIRE RATING: 2 HOUR
 STC: N/A
 SOUND TEST: N/A
 SYSTEM THICKNESS: 1'-3"

GYPSUM BOARD: TWO LAYERS OF 5/8 IN. THICK GYPSUM BOARD APPLIED HORIZONTALLY OR VERTICALLY.
 WOOD STUDS: 2 IN. X 4 IN. WOOD STUDS SPACED MAX. 16 IN. O.C., CROSS BRACED AT MID-HEIGHT AND FIRESTOPPED AT TOP AND BOTTOM OF WALL.
 GYPSUM BOARD: 5/8 IN. THICK GYPSUM BOARD APPLIED HORIZONTALLY OR VERTICALLY.
 AIR CAVITY: 1-1/2 IN. THICK AIR SPACE
 GYPSUM BOARD: 5/8 IN. THICK GYPSUM BOARD APPLIED HORIZONTALLY OR VERTICALLY.
 WOOD STUDS: 2 IN. X 4 IN. WOOD STUDS SPACED MAX. 16 IN. O.C., CROSS BRACED AT MID-HEIGHT AND FIRESTOPPED AT TOP AND BOTTOM OF WALL.
 GYPSUM BOARD: TWO LAYERS OF 5/8 IN. THICK GYPSUM BOARD APPLIED HORIZONTALLY OR VERTICALLY.

2 UL342 PARTY WALL DETAIL
 SCALE: NTS

3 STORY TOWNHOME COMPLEX

Project Number
 Date: 12-14-2021
 Drawn By: kss
 Checked By: jlw

**LOT 5
 GLENBROOK RIDGE
 GLENBROOK CIRCLE S.
 BETTENDORF, IA 52722**

REVISION NO.	DATE	REVISION DESCRIPTION
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A5

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Fax: 866-389-4929
info@silverthornegroup.com

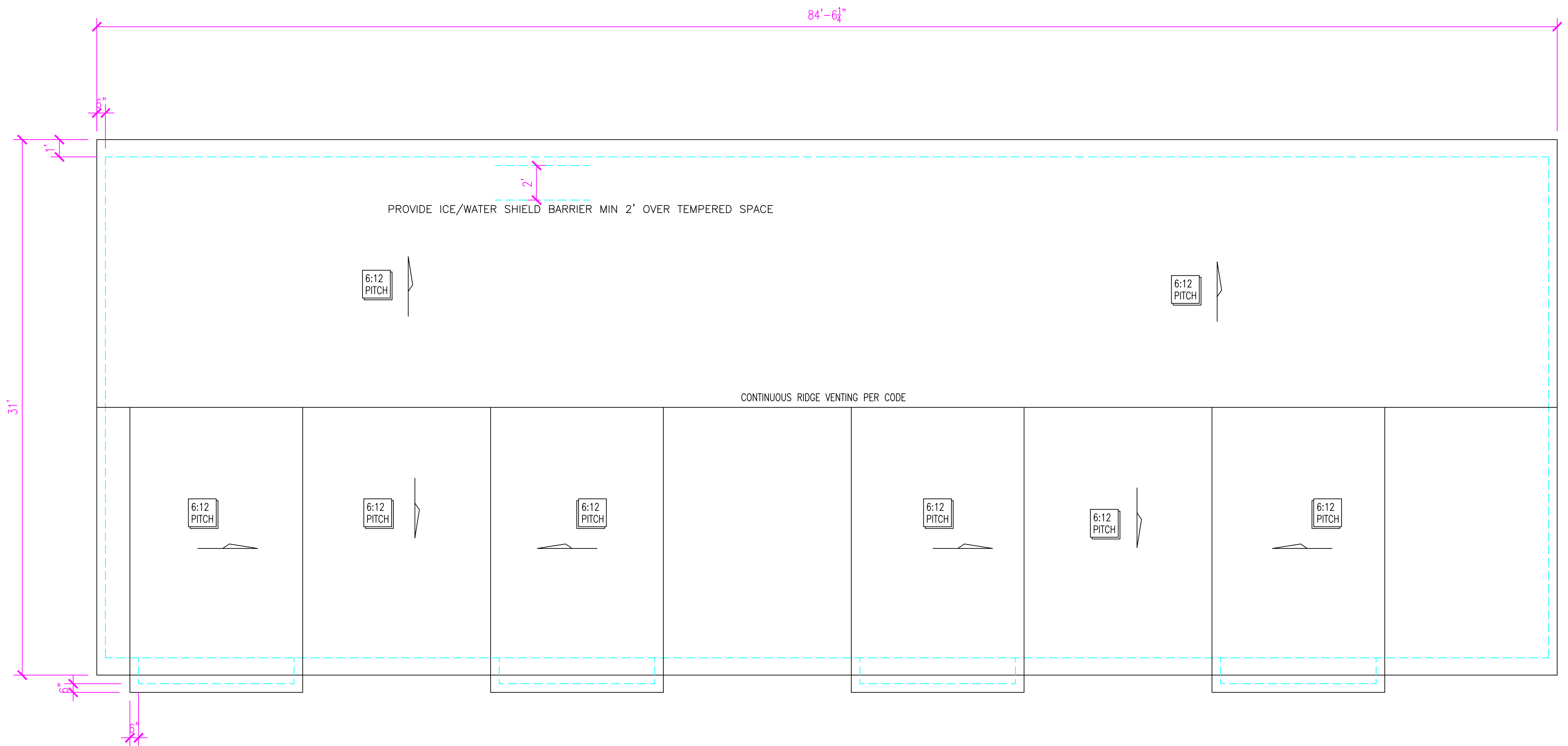
Civil Engineer:

MEP Engineer:

3 STORY TOWNHOME COMPLEX

Project Number
Date 12-14-2021
Drawn By kss
Checked By jlw

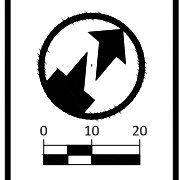
**LOT 5
GLENBROOK RIDGE
3425 GLENBROOK CIRCLE S.
BETTENDORF, IA 52722**



1 ROOF PLAN
A6 SCALE: 1/4" = 1'-0"

REVISION NO.	REVISION DESCRIPTION	DATE
1		

A6



REV	DATE	DESCRIPTION OF CHANGES
1	04-25-2023	CITY FIRST SUBMITTAL
2	05-09-2023	RTC #1

REV	DATE	DESCRIPTION OF CHANGES
1	04-25-2023	CITY FIRST SUBMITTAL
2	05-09-2023	RTC #1

PROJECT NAME:	CREEK RIDGE ESTATES
ADDRESS:	CREEK HILL DRIVE
CITY:	BETTENDORF, IA
CLIENT NAME:	SILVERTHORNE
PROJECT NO.:	230045
DESIGNED, DETAILED, AND CHECKED BY:	BOELK
SHEET NO.:	LANDSCAPE PLAN
SHEET NUMBER:	L1.00

LANDSCAPE LEGEND:

- PROPOSED DECIDUOUS TREE
- PROPOSED DECIDUOUS UNDERSTORY
- EVERGREEN SHRUB
- OPEN SPACE LAWN AREAS. SEE SURFACE RESTORATION NOTES. THIS SHEET.

SURFACE RESTORATION NOTES:

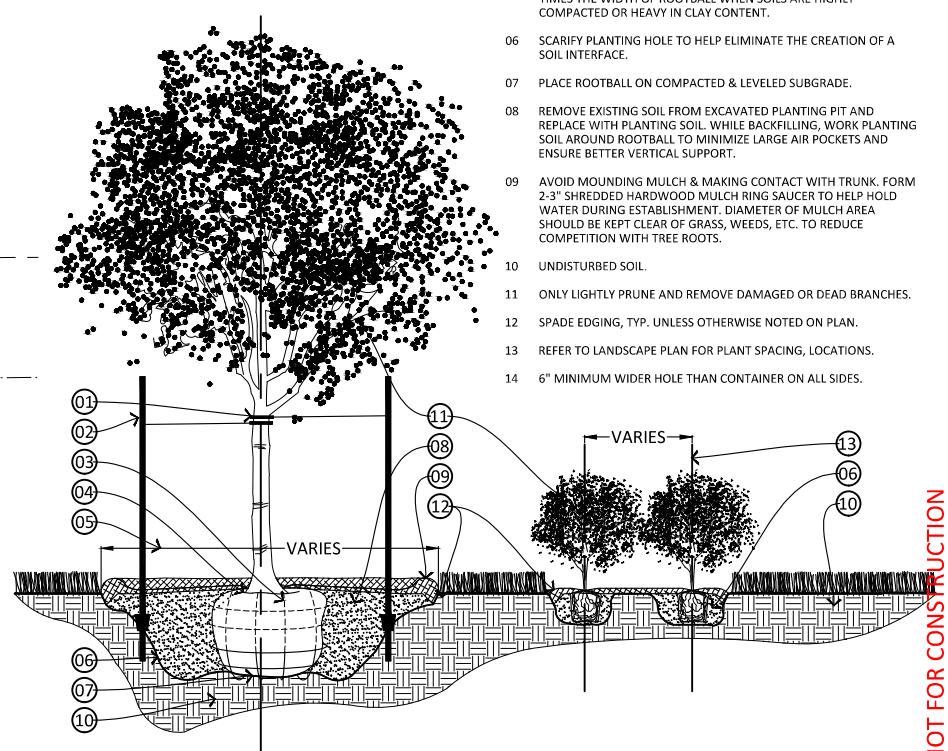
- ALL DISTURBED AREAS SHALL BE STABILIZED WITH MEASURES APPROPRIATE FOR THE FINAL USE OF THE AREA. WHEN POSSIBLE, THE CONTRACTOR SHALL PHASE THE PROJECT WORK TO MINIMIZE THE AMOUNT OF AREA DISTURBED AT A GIVEN TIME. REFER TO THE EROSION AND SEDIMENT CONTROL NOTES FOR ADDITIONAL REQUIREMENTS.
- TOPSOIL SHALL BE PLACED IN AREAS THAT WILL NOT BE PAVED OR OTHERWISE BUILT UPON.
- SCARIFY THE FINAL SUBGRADE TO A DEPTH OF FOUR-INCHES PRIOR TO PLACING TOPSOIL. REMOVE ALL STONES LARGER THAN THREE INCHES, WOOD, AND OTHER DEBRIS.
- PLACE A MINIMUM 4-INCHES OF TOPSOIL ON ALL PLACES NOT TO RECEIVE PAVEMENT OR BUILDINGS.
- IN PREPARATION OF PERMANENT SEED OR SOD, ROTOTILL TOPSOIL TO A DEPTH OF AT LEAST THREE INCHES, REMOVING ANY ROCKS OR OTHER DEBRIS LARGER THAN TWO-INCHES. SHAPE AND FINE GRADE THE AREA TO REMOVE RILLS OR GULLIES, WATER POCKETS, AND IRREGULARITIES TO PROVIDE A SMOOTH AND EVEN SURFACE.
- IN PREPARATION OF TEMPORARY SEED, TILL THE SOIL TO A DEPTH OF FIVE INCHES WITH A DISK, HARROW, OR FIELD CULTIVATOR.
- APPLY SEED AT RATES INDICATED IN CONTRACT DOCUMENTS. CONTRACTOR SHALL MAINTAIN SEEDED AREAS UNTIL AN ADEQUATE STAND OF GRASS HAS BEEN ESTABLISHED AND SOD AREAS UNTIL THE SOD HAS TAKEN ROOT.
- UNLESS NOTED OTHERWISE ON THE PLANS, DISTURBED AREAS WILL BE SEEDED WITH SUDAS TYPE 1 MIX.

STAKING NOTES:

- TREE STAKING SHALL ONLY BE USED IF NOTED, IN HIGH WIND AREAS, OR AREAS OF HEAVY ADJACENT PEDESTRIAN TRAFFIC.
- STAKING WIRE THROUGH RUBBER HOSE SET LOOSE TO ALLOW FOR TRUNK TAPER AND DETRIMENTAL GROWTH. TREE SHOULD ALLOW LIMITED MOVEMENT.
- STEEL FENCE POST STAKE DRIVEN INSIDE MULCH RING DIAMETER. DRIVE STAKES 1'-0" INTO UNDISTURBED SOIL BELOW ROOTBALL.

TREE & SHRUB PLANTING NOTES:

- REMOVE ENTIRE WIRE BASKET AND BURLAP ONCE PLACED INTO PLANTING HOLE. REMOVE ALL SISAL AND SYNTHETIC TWINE.
- TRUNK FLARE SHOULD BE EXPOSED BEFORE DETERMINING PLANTING HOLE DEPTH. PLANT TREE WITH TRUNK FLARE 1'-2" MAXIMUM ABOVE ORIGINAL GRADE, AVOID PLANTING TREE TOO DEEPLY.
- PLANTING HOLE TO BE AT MINIMUM 3 TIMES THE WIDTH OF ROOTBALL AT SOIL SURFACE, SLOPING TO THE WIDTH OF ROOT BALL AT BASE. PLANTING HOLE WIDTH NEAR SURFACE IS INCREASED TO 5 TIMES THE WIDTH OF ROOTBALL WHEN SOILS ARE HIGHLY COMPACTED OR HEAVY IN CLAY CONTENT.
- SCARIFY PLANTING HOLE TO HELP ELIMINATE THE CREATION OF A SOIL INTERFACE.
- PLACE ROOTBALL ON COMPACTED & LEVELED SUBGRADE.
- REMOVE EXISTING SOIL FROM EXCAVATED PLANTING PIT AND REPLACE WITH PLANTING SOIL, WHILE BACKFILLING, WORK PLANTING SOIL AROUND ROOTBALL TO MINIMIZE LARGE AIR POCKETS AND ENSURE BETTER VERTICAL SUPPORT.
- AVOID MOUNDING MULCH & MAKING CONTACT WITH TRUNK. FORM 2-3" SHREDDED HARDWOOD MULCH RING SAUCER TO HELP HOLD WATER DURING ESTABLISHMENT. DIAMETER OF MULCH AREA SHOULD BE KEPT CLEAR OF GRASS, WEEDS, ETC. TO REDUCE COMPETITION WITH TREE ROOTS.
- UNDISTURBED SOIL.
- ONLY LIGHTLY PRUNE AND REMOVE DAMAGED OR DEAD BRANCHES.
- SPADE EDGING, TYP. UNLESS OTHERWISE NOTED ON PLAN.
- REFER TO LANDSCAPE PLAN FOR PLANT SPACING, LOCATIONS.
- 6" MINIMUM WIDER HOLE THAN CONTAINER ON ALL SIDES.



ID	QTY.	BOTANICAL/COMMON NAME	MAT. SIZE	ROOT	SPACING	NOTES
DECIDUOUS TREES						
SR	2	Syringa Reticulata JAPANESE TREE LILAC	25' H X 20' W	BB	SEE PLAN	MIN. OF 1.5" TRUNK DIAMETER AT 6" ABOVE GRADE
AM	2	Acer Xfreemanii 'Jeffersred' AUTUMN BLAZE MAPLE	40' H X 45' W	BB	SEE PLAN	MIN. OF 2" TRUNK DIAMETER AT 6" ABOVE GRADE AND MIN. CLEAR TRUNK HEIGHT OF 4' ABOVE GRADE
EVERGREEN SHRUBS						
GG	7	Thuja Occidentalis GOLDEN GLOBE	4' H X 4' W	2 GAL.	SEE PLAN	MIN. OF 18" HEIGHT WHEN PLANTED
KW	6	Hypericum Kalmianum KALM'S ST. JOHNS WORT	4' H X 4' W	2 GAL.	SEE PLAN	MIN. OF 18" HEIGHT WHEN PLANTED

ALL PLANTS NURSERY MATCHED, QUALITY SPECIMEN; PLANS SHALL SUPERCEDE PLANT COUNTS

NOT FOR CONSTRUCTION

STAFF REPORT

Subject: 3230 Ridge Pointe
- Site Development Plan
Author: Greg Beck
Department: Community Development



Case No.: 23-030
Request: Site Development Plan for Lot 3, Quail Ridge Pointe Subdivision (3230 Ridge Pointe)
Location: East of Middle Road, north of Belmont Road and west of Ridge Pointe
Legal Description: Lot 3, Quail Ridge Pointe Subdivision - Parcel No. 841555203
Applicant: Downing Construction Inc. for Vibrant Credit Union
Current Zoning: C-1, Neighborhood Commercial District
Future Land Uses: Community Commercial

Background Information & Facts

Downing Construction Inc. has submitted a request for approval of a site development plan for an addition to Vibrant Credit Union building on Lot 3, Quail Ridge Pointe Subdivision (see Aerial Map, Attachment A). The zoning is C-1, Neighborhood Commercial District. The future land use designation is Community Commercial (see Zoning Map and Future Land Use Maps, Attachments B and C).

Future Land Use and Comprehensive Plan

The future land use designation supports the present C-1, Neighborhood Commercial District zoning, which permits financial services and coffee shops and in this district. The proposed development is consistent with Comprehensive Plan Goal C: Attract and Retain Business and Industry.

Lot Configuration & Zoning Compliance

Lot 3, Quail Ridge Pointe Subdivision contains 1.552 acres for the current building (see Final Plat and Original Site Development Plan, Attachments D and E). The addition will add 766 square feet to the existing structure and contain drive up capability (Site Development Plan, Attachments F and G).

Utilities

Utilities are present along Middle Road and Ridge Pointe and already connect to Vibrant Credit Union.

Thoroughfare Plan & Access

The site is accessible from Ridge Pointe with no direct access to Middle Road. The driveway for interior circulation of this development is being altered to accommodate new traffic circulation. Stacking is met with the new configuration. The drive-up window is on the south side of the building (see Elevations, Attachment H).

Pedestrian and Trail Access

Sidewalks are already present along Middle Road and Ridge Pointe.

Off-Street Parking

Requirements for parking were met with the design as presented.

Stormwater Detention

No significant amount of impervious surface was added to the site based on the building addition to necessitate additional storm water measures.

Landscaping

Landscaping has been placed in streetscape areas and drive areas per the Landscape Ordinance (see Landscape Plan, Attachment I). Landscaping being added is above what the ordinance requires.

Lighting

All lighting shall be required to be downcast on the parcel. No additional lighting is being added.

Floodplain

No portion of this lot is within the 100-year flood hazard area.

Staff Recommendation

Since the developer has met the requirements for approval of the site development plan, staff recommends approval of the site development plan.

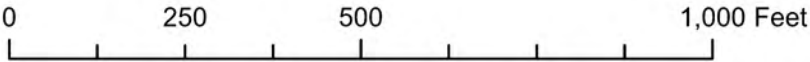
With the following standard condition:

1. Approval of the final plat does not waive any applicable city, state, or federal provisions as required by law.

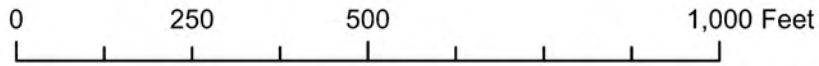
Respectfully submitted,

Greg Beck
City Planner

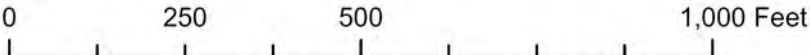
Case 23-030 3230 Ridge Pointe Site Development Plan Aerial Map



Case 23-030 3230 Ridge Pointe Site Development Plan Zoning Map



Case 23-030 3230 Ridge Pointe Site Development Plan Future Land Use Map



By Class

RDCLASS

- Alleyway/Access Road
- Bike Trail
- County Route
- Driveway
- Interstate
- Local road in unincorporated area
- Local road within incorporated area or Park View
- Major road
- Pedestrian trail/walkway
- Ramp
- State Highway
- US Highway
- <all other values>

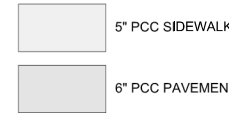
Bettendorf_FLU

- City Limits
- Property Lines
- BP
- CCOM
- GRNWY
- IND
- NCOM
- PRKOS
- PUBLIC
- UHI
- ULI
- UMI
- UR
- Creeks
- Ponds and Lakes

CURVE TABLE

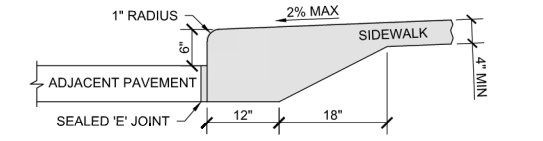
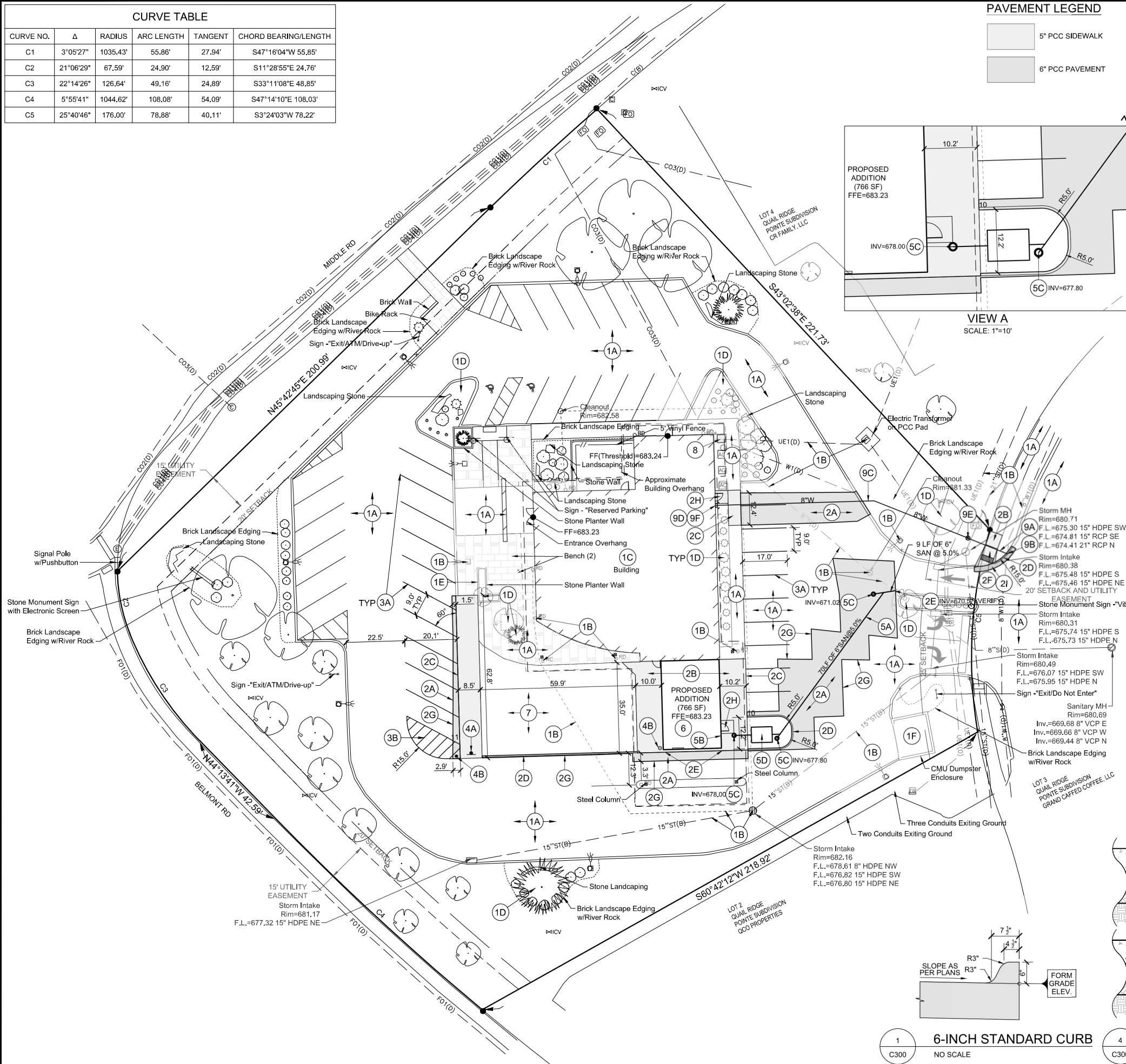
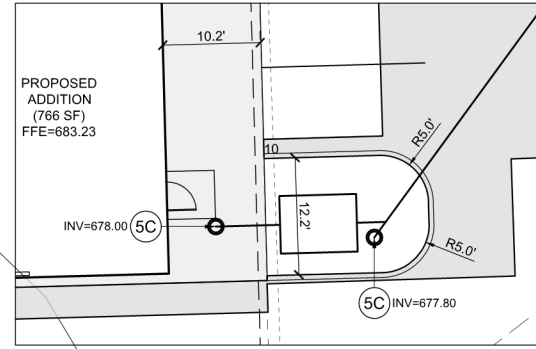
CURVE NO.	Δ	RADIUS	ARC LENGTH	TANGENT	CHORD BEARING/LENGTH
C1	3°05'27"	1035.43'	55.86'	27.94'	S47°16'04"W 55.85'
C2	21°06'29"	67.59'	24.90'	12.59'	S11°28'55"E 24.76'
C3	22°14'26"	126.64'	49.16'	24.89'	S33°11'08"E 48.85'
C4	5°55'41"	1044.62'	108.08'	54.09'	S47°14'10"E 108.03'
C5	25°40'46"	176.00'	78.88'	40.11'	S3°24'03"W 78.22'

PAVEMENT LEGEND

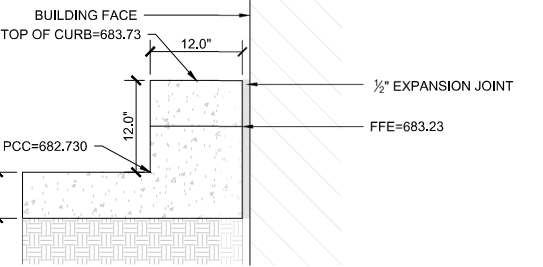


DIMENSION AND UTILITY PLAN CONSTRUCTION NOTES

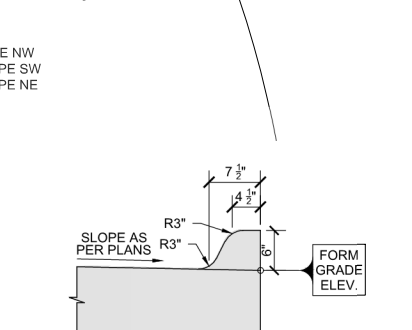
- EXISTING FEATURES. PROTECT THE FOLLOWING:
 - PAVEMENT TO REMAIN.
 - EXISTING UTILITIES. COORDINATE ANY RELOCATIONS OR ADJUSTMENTS WITH UTILITY SERVICE PROVIDER AS NECESSARY. ADJUST AS NECESSARY TO ALLOW FOR CONSTRUCTION. CONTRACTOR VERIFY LOCATION, ELEVATION AND MINIMUM COVER REQUIREMENTS PRIOR TO CONSTRUCTION.
- BUILDING, LANDSCAPING, PLANTER, TRASH ENCLOSURE.
 - PAVEMENTS, PROVIDE THE FOLLOWING:
 - PCC DRIVES AND PARKING, 8" DEPTH PAVEMENT ON 12" PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - PCC SIDEWALKS, 5" DEPTH PAVEMENT ON 6" PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - INTEGRAL SIDEWALK AND CURB. SEE DETAIL ON THIS SHEET.
 - 6" STANDARD CURB. SEE DETAIL ON THIS SHEET.
 - 12" WIDE NON-STANDARD CURB. SEE DETAIL ON THIS SHEET.
 - PEDESTRIAN RAMP WITH A MAXIMUM SLOPE OF 8.33% AND DETECTABLE WARNING PANEL.
 - CONNECT TO EXISTING PAVEMENT, DRILL AND DOWEL.
 - PCC STOOP, REFER TO ARCHITECTURAL AND STRUCTURAL PLANS.
 - PCC DRIVES AND PARKING, 7" DEPTH PAVEMENT ON 12" PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- PAVEMENT MARKINGS. PROVIDE THE FOLLOWING:
 - 4" WIDE PAINTED PARKING STALL LINES.
 - 45" STRIPING AT 3' ON CENTER SPACING WHERE SHOWN.
- SIGNS. PROVIDE THE FOLLOWING:
 - MENU BOARD WITH SPEAKER/MICROPHONE. SEE ARCHITECTURAL PLANS FOR DETAILS.
 - BOLLARD, PAINTED AND FILLED WITH CONCRETE. PAINT COLOR TO BE DETERMINED BY OWNER.
- SANITARY SEWER SERVICE. PROVIDE THE STRUCTURES AND SERVICE LINE AS SHOWN AND LISTED BELOW AS PER CITY OF BETTENBORF STANDARDS:
 - 6" SANITARY SEWER SERVICE AT 1.0% MIN.
 - CONNECT TO BUILDING SANITARY SERVICE. VERIFY LOCATION AND ELEVATION WITH MECHANICAL PLANS PRIOR TO CONSTRUCTION.
 - SANITARY CLEANOUT.
 - 6"x8" GREASE INTERCEPTOR. REFER TO PLUMBING PLANS FOR DETAILS.
 - CONNECT TO EXISTING SANITARY SERVICE W/ WYE AND RISER AS NECESSARY.
- BUILDING ADDITION. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS.
- SOD. REFER TO SHEET C500.
- RELOCATED AC UNIT. COORDINATE RELOCATION WITH ARCHITECTURAL AND MECHANICAL PLANS.
- WATER SERVICE. PROVIDE THE FOLLOWING AS PER IOWA-AMERICAN WATER COMPANY STANDARDS:
 - REMOVE EXISTING WATER SERVICE TO LIMITS SHOWN.
 - REMOVE EXISTING WATER SERVICE. TAP AND REPLACE WITH NEW 8" TEE. COORDINATE WITH IOWA-AMERICAN WATER PRIOR TO CONSTRUCTION.
 - 8" WATER SERVICE. MINIMUM 5.5' DEPTH WITH FITTINGS AND BENDS AS NECESSARY.
 - CONNECT TO BUILDING WATER SERVICE. VERIFY LOCATION AND ELEVATION WITH MECHANICAL PLANS PRIOR TO CONSTRUCTION.
 - 8" VALVE.
 - EXISTING BUILDING MOUNTED FDC. SEE MECHANICAL PLANS FOR EXACT LOCATION.



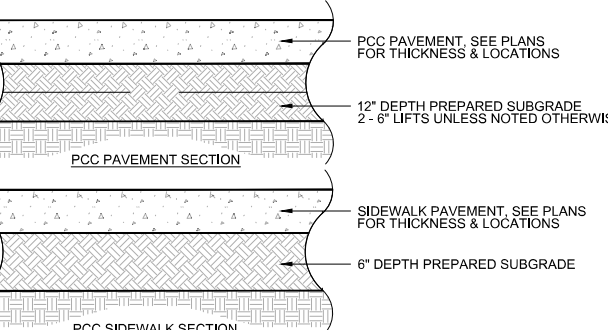
2 INTEGRAL SIDEWALK AND CURB DETAIL
C300 NO SCALE



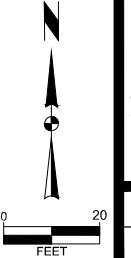
3 DRIVE THRU CURB DETAIL (NON-STANDARD CURB)
C300 NO SCALE



1 6-INCH STANDARD CURB
C300 NO SCALE



4 TYPICAL PAVEMENT CROSS SECTIONS
C300 NO SCALE



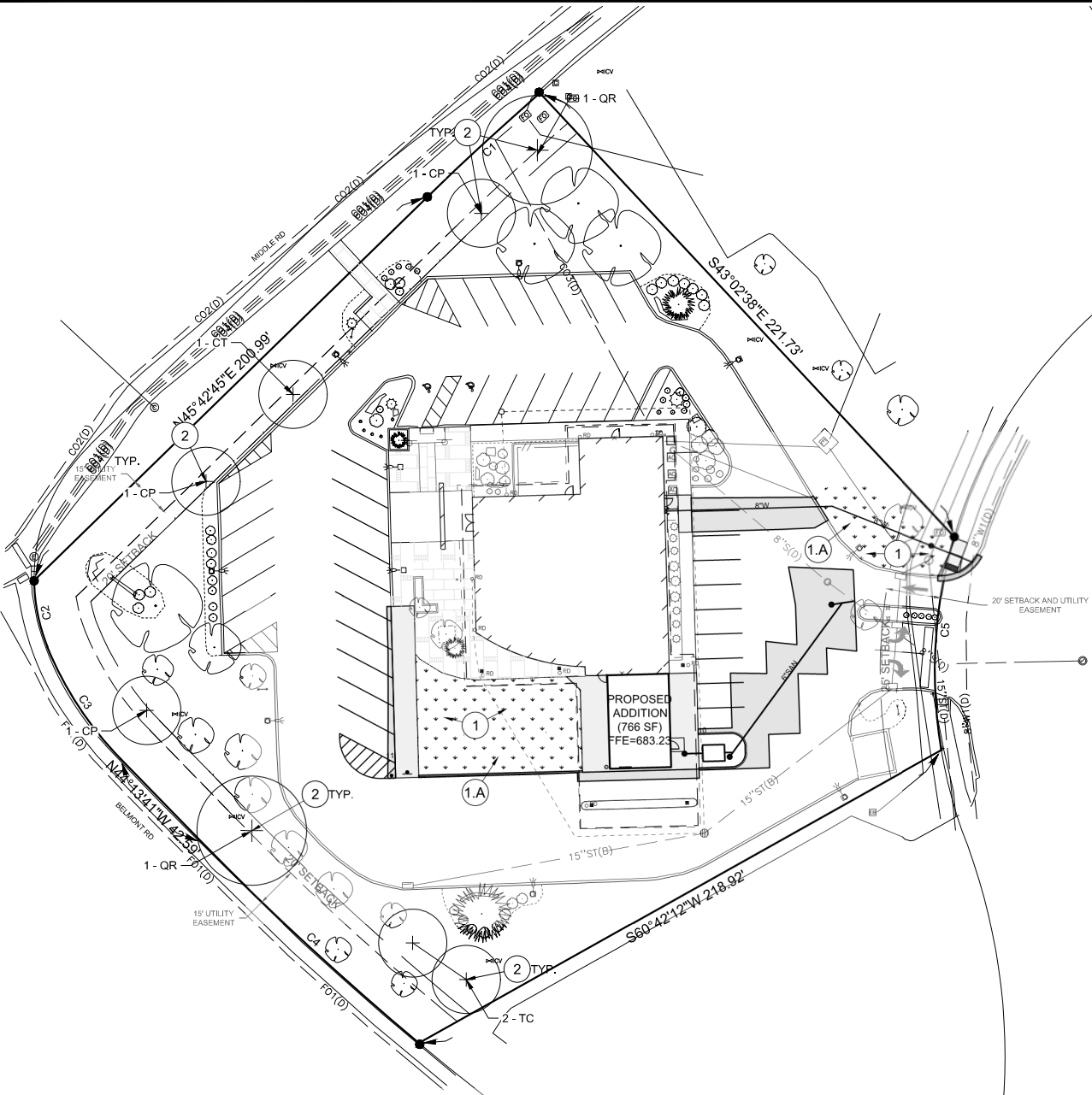
V:\projects\2023\123.0217\CADD\DRP03_1230217_DIM AND UTILITY PLAN_20230424_7:27 AM_ANSI BULK BLEED.DWG (34.00 X 22.00 INCHES)

MARK	PER OWNER COMMENTS	REVISION	DATE	BY
1			04/24/23	TLS

Checked By: MAA
 Date: 03/28/2023
 Engineer: JRC
 Technician: TLS
 Scale: 1" = 20'
 T-R-S: TTN-RRW-SS
 Project No: 123.0217.01
 Sheet C300

VIBRANT COFFEEHOUSE
DIMENSION AND UTILITY PLAN
SNYDER & ASSOCIATES, INC.
 BETTENDORF, IOWA
 2727 S.W. SNYDER BLVD
 ANKENY, IOWA 50023
 515-964-2020 | www.snyder-associates.com

Project No: 123.0217.01
 Sheet C300



PLANTING PLAN GENERAL NOTES

- A. UTILITY WARNING:
THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- A. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- B. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
- C. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
- H. MULCH SHALL NOT BE PLACED AROUND THE COLLAR OF SHRUB OR TREE. PROVIDE A MINIMUM OF 2" BETWEEN MULCH AND COLLAR OF SHRUB OR TREE.
- I. ALL PLANT MATERIAL SHALL BE GROWN IN ZONE CAPABLE OF WITHSTANDING LOCAL CLIMATE AND GROWING CONDITIONS.
- J. TREE OR SHRUB SHALL STAND PLUMB. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACK FILLING.
- K. ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY, HEALTHY, FREE OF DISEASE AND INSECTS AND SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS. PLANTS SHALL ALSO BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT VIGOROUS GROWTH.
- L. ALL PROPOSED PLANTS SHALL BE LOCATED AS SHOWN ON PLANS. ALL TREES TO BE PLANTED A MINIMUM DISTANCE OF 5 FEET FROM PAVEMENTS AND 6 FEET FROM ALL HYDRANTS.
- M. PLANTS SHALL BE TRUE TO SPECIES, SIZE AND VARIETY SPECIFIED. SUBSTITUTIONS OF PLANT MATERIALS IS NOT PERMITTED UNLESS AUTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT.
- N. CONTRACTOR IS RESPONSIBLE FOR PLANTS AWAITING INSTALLATION AND SHALL PROTECT THEM FROM INJURY.

PLANTING PLAN CONSTRUCTION NOTES

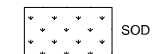
- 1. SOD AREAS IDENTIFIED ON PLAN AS PER SUDAS SPECIFICATION SECTION 9020. ESTABLISH AS PER OWNER'S REQUIREMENTS.
 - 1.A. REMOVE CONTAMINATED SOIL AND MODIFIED STONE TO 12" DEPTH. INSTALL 50 / 50 MIX SOIL SUB BASE TO 12" DEPTH IN SOD AREAS IDENTIFIED
- 2. PROVIDE 3-INCH DEPTH SHREDDED HARDWOOD MULCH ON ALL INDIVIDUAL TREES WITH A 5' DIAMETER MULCH RING. PROVIDE SAMPLE OF PROPOSED MULCH FOR APPROVAL BY THE OWNER PRIOR TO INSTALLATION.
- 3. CONTRACTOR TO INSTALL TWO INCH RIVER ROCK MULCH TO A DEPTH OF 3-INCHES WITH WEED BARRIER FABRIC UNDERLAYMENT IN ALL AREAS SHOWN ON PLAN. PROVIDE SAMPLE OF RIVER ROCK MULCH TO OWNER FOR APPROVAL PRIOR TO INSTALLATION.
- 4. EXISTING VEGETATION TO REMAIN.

PLANTING PLAN REQUIREMENTS

LANDSCAPE REQUIREMENTS AND CALCULATIONS:
(AS PER CITY OF BETTENDORF LANDSCAPING REQUIREMENTS)

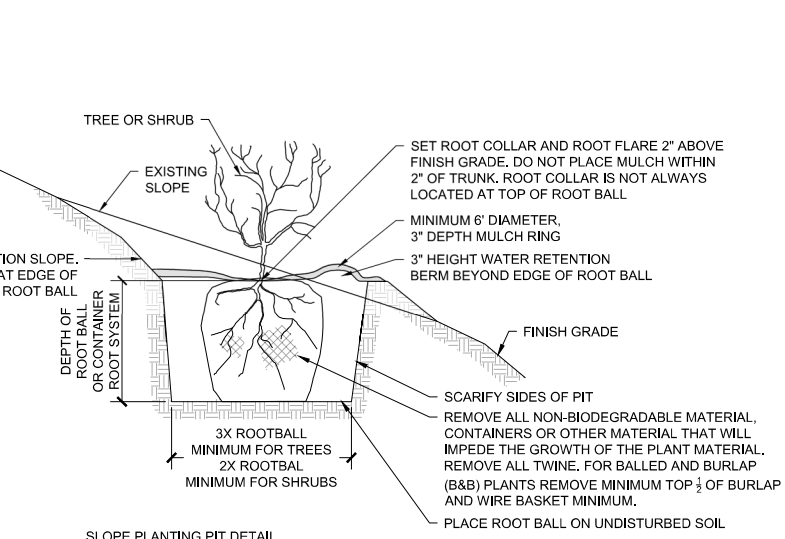
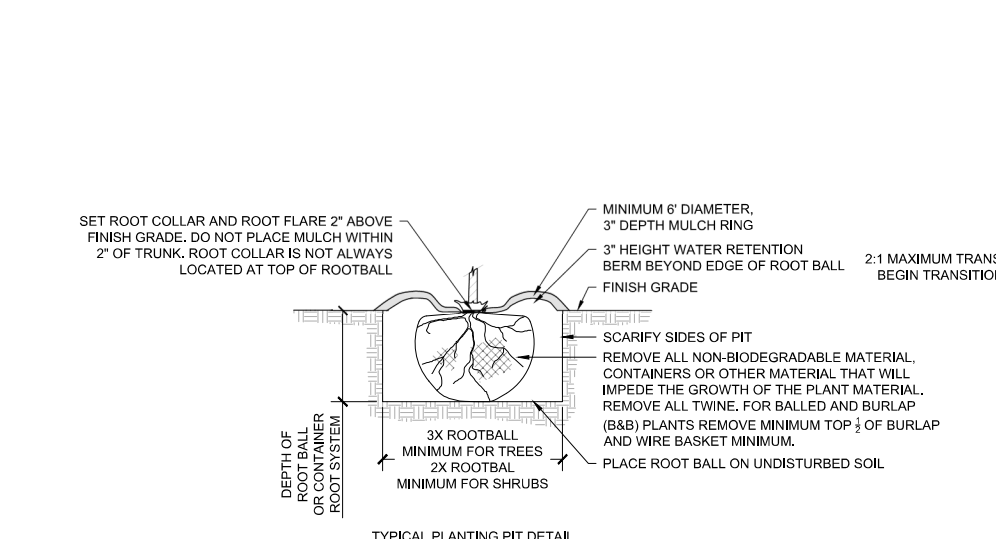
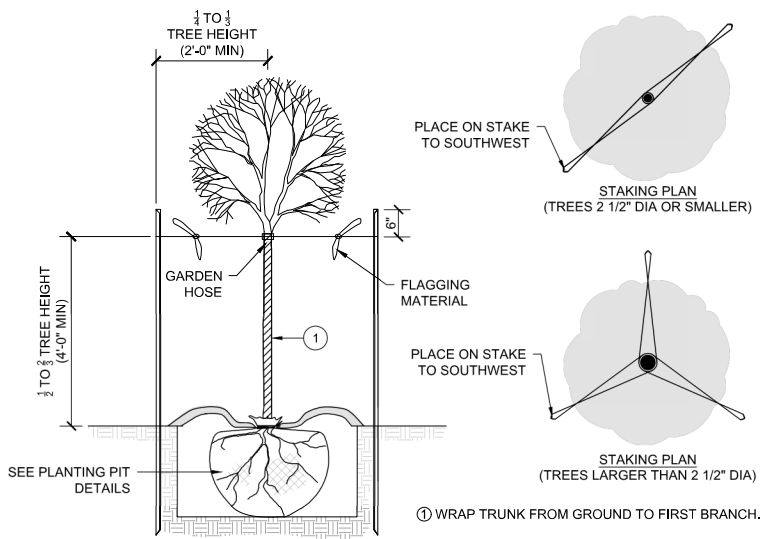
STREET FRONTAGE REQUIREMENTS:
20' DEPTH, 1 TREE PER 700 SF OF TOTAL FRONTAGE AREA
560 LF X 20' = 11,200 / 700 = 16 TREES REQUIRED (8 EXISTING TREES, 8 ADDITIONAL PROVIDED)

PLANTING LEGEND



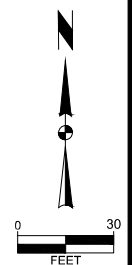
PLANT SCHEDULE

SHADE TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
CP	3	<i>Celtis occidentalis</i> 'Prairie Pride'	Prairie Pride Hackberry	2" Cal.	B&B
CT	1	<i>Corylus colurna</i>	Turkish Filbert	2" Cal.	B&B
QR	2	<i>Quercus rubra</i>	Red Oak	2" Cal.	B&B
TC	2	<i>Tilia cordata</i>	Littleleaf Linden	2" Cal.	B&B



1 DECIDUOUS TREES STAKING DETAIL
NO SCALE

2 PLANTING PIT DETAILS
NO SCALE



MARK	PER OWNER COMMENTS	REVISION	DATE	BY
1		04/24/23	TLS	

Engineer: JRC
Checked By: MAA
Date: 03/28/2023
Technician: TLS
T-R-S: TTN+RRV+SS

VIBRANT COFFEEHOUSE

BETTENDORF, IOWA

PLANTING PLAN

SNYDER & ASSOCIATES, INC.

2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

